

9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

TREE PROTECTION GUIDELINES

All remaining trees are to have a tree protection zone (TPZ) established before commencement of any construction or delivery activities. The following guidelines are to be observed and practiced during all construction activities.

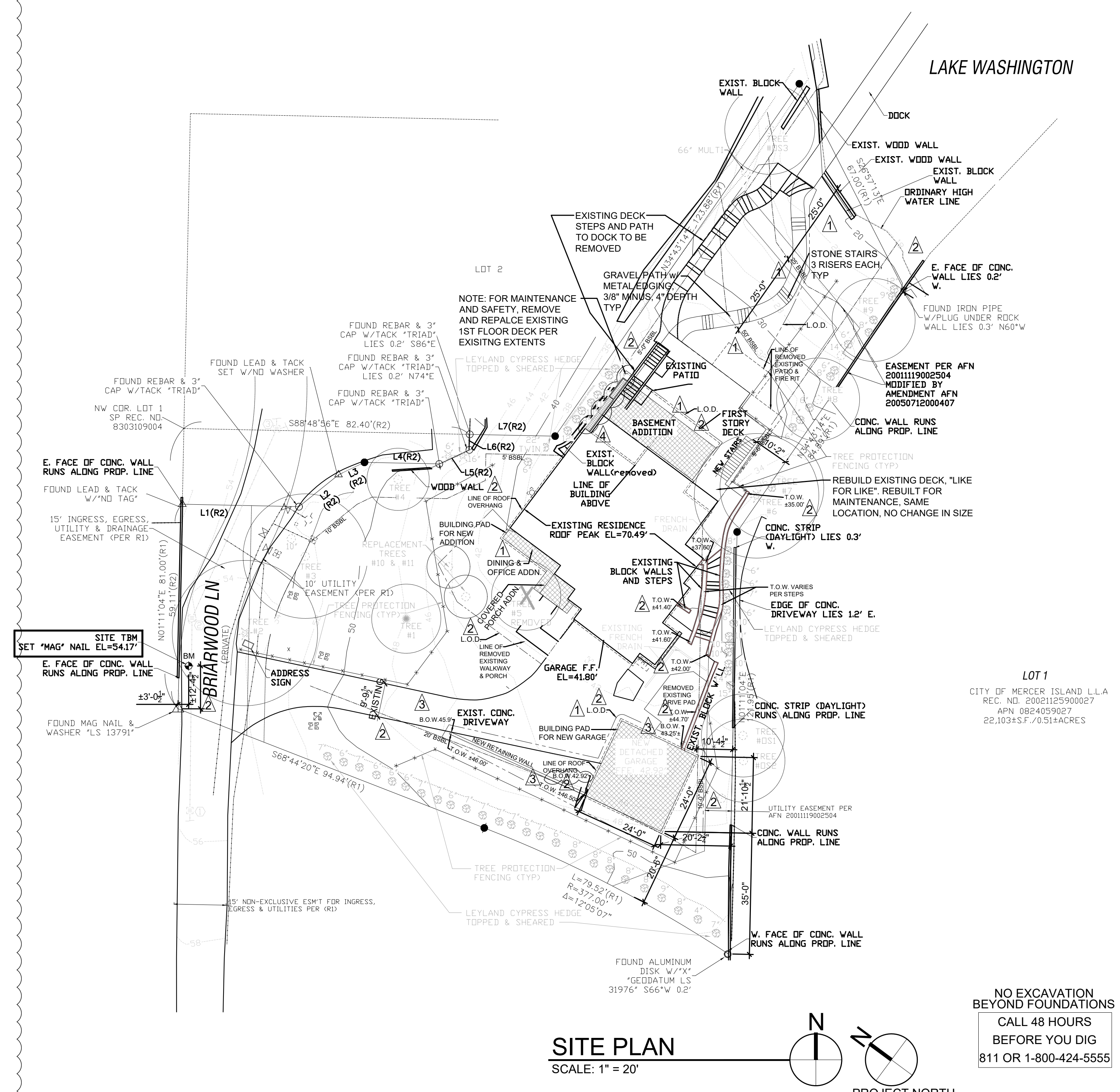
- Access is to be restricted into TPZ's with readily visible temporary tree fencing along the LOD which completely surrounds the protected areas of retained trees. Fences shall be constructed of chain link and be at least 4 ft tall, constructed using pier block, and major roots should be avoided while staking.
- Highly visible signs spaced no further than 15 feet shall be placed along sides of the TPZ fencing.
- Construction materials or supplies, soil, debris, vehicles, and equipment are not to be parked or stored within TPZ.
- TPZ fences must be inspected prior to the beginning of any construction activities.
- Assess crew and contractor penalties, if necessary, to keep the TPZ's intact.
- Check the integrity of TPZ fences weekly, and repair or replace as needed.
- Wood chips should be used if possible to spread above root zones within the TPZ's to a depth of 6-8 inches for temporary protection.
- Cement trucks must not deposit waste or rinse out trucks in the TPZ.
- Avoid grade changes or trenching within or near the TPZ. If it is unavoidable, then follow the guidelines below.
- TPZ's may only be moved or accessed with permission from City Officials, and any work done within TPZ's must be done with a certified arborist present.
- If roots need to be pruned, they should be cut with pruning saws, made flush with the side of the trench.
- Trees should be watered twice a week if construction is to take place during hot summer months.

If excavation occurs within the driplines of trees scheduled for retention, the following procedures must be followed to protect them:

- The contractor shall verify the vertical and horizontal location of existing utilities to avoid conflicts and maintain minimum clearances; adjustment shall be made to the grade of the new utility as required.
- The inner root zone shall not be disturbed or cut (inner root zone = half the drip line radius).
- ISA Certified arborist must work with equipment operators during trenching/ excavation. The Arborist should have a shovel, hand pruners, loppers, handsaw, and a sawsall.
- If roots one inch or larger are damaged by equipment, the Arborist shall stop the equipment and have the dirt excavated by hand until the root can be cleanly cut. A clean straight cut shall be made to remove the damaged portion of root, and if possible the roots should be covered in moist burlap until recovered with dirt the same day.
- Boring or tunneling under roots of existing trees is a viable alternative to trenching through roots. It shall be performed under the supervision of an ISA Certified Arborist, and no roots 1 inch in diameter or larger shall be cut.
- The grade shall not be elevated or reduced within the critical root zone of trees to be preserved without the Planning Official's authorization based on recommendations from a qualified professional. The Planning Official may allow coverage of up to one half of the area of the tree's critical root zone with light soils (no clay) to the minimum depth necessary to carry out grading or landscaping plans, if it will not imperil the survival of the tree. Aeration devices may be required to ensure the tree's survival.

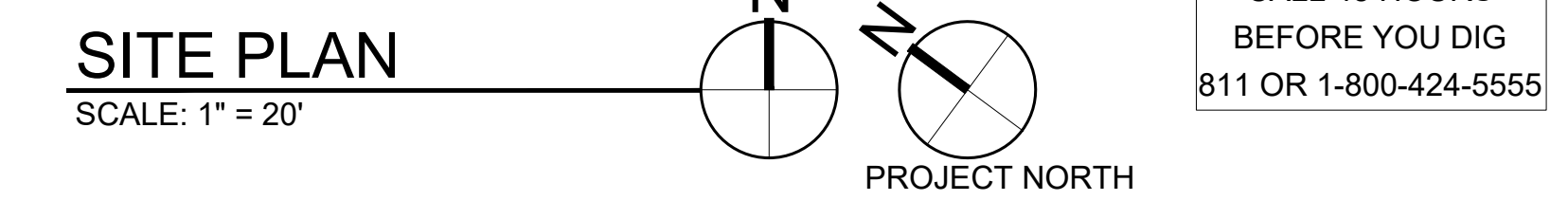
TREE RETENTION/ PROVISION CALCULATION					
EXISTING ON-SITE TREES	RETAIN	REMOVE	DBH	CREDIT	
TREE #1	FLOWERING CHERRY	X	12"	2	
TREE #2	Cedrus Atlantica, Atlas Cedar	X	29.5"	10	
TREE #3	Quercus, Pin Oak	X	24.8"	8	
TREE #4	Acer palmatum, Japanese Maple	X	12.5"	2	
TREE #5	Acer palmatum, Japanese Maple		11.0"	1	
TREE #6	Cedrus Atlantica, Atlas Cedar	X	26.0"	9	
TREE #7	Acer Macrophyllum, Big Leaf Maple	X	17.4"	4	
TREE #8	Fraxines, Ash	X	21.0"	6	
TREE #9	Fraxines, Ash	X	14.0"	3	
NEW TREES TO REPLACE REMOVED					
TREE #10	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT	2"	2	
TREE #11	Amelanchier Alnifolia, Western Serviceberry	X (NEW) REPLACEME NT	2"	2	
EXISTING OFF-SITE TREES w/ OVERHANGING LIMBS					
TREE # OS 1	Cupressocyparis Leylandii, Layland	X	est 18"		
TREE # OS 2	Cupressocyparis Leylandii, Layland	X	est 21"		
TREE # OS 3	Populus Nigra, Black Cottonwood	X	est 44"		
TOTAL CREDITS PROPOSED				45	
LOT SIZE			0.50	ACRES	
TREES PER ACRE	PER KZC 95.33		30.0		
TOTAL CREDITS REQUIRED				15.0	
SUPPLEMENTAL TREES TO MEET MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTLINED IN KZC 95.33(4)					

LOT COVERAGE		
LOT SIZE	21,700	SF
LOT COVERAGE ZONE % - RS 9.6 <15% SLOPE - 40%	8,680	SF
EXISTING LOT COVERAGE		
MAIN STRUCTURE ROOF AREA	2,374	SF
VEHICULAR USE	2,646	SF
TOTAL EXISTING LOT COVERAGE	5,020	SF
NEW LOT COVERAGE		
EXISTING LOT COVERAGE REMOVED	(797)	SF
MAIN STRUCTURE ROOF AREA	511	SF
ACCESSORY STRUCTURE ROOF AREA	625	SF
VEHICULAR USE	250	SF
COVERED PATIOS/DECKS	73	SF
NEW LOT COVERAGE	1,459	SF
TOTAL LOT COVERAGE AREA	5,682	SF
%	26.18%	
HARDSCAPE COVERAGE		
LOT SIZE	21,700	SF
BORROWED FROM LOT COVERAGE	2,998	SF
HARDSCAPE AREA ALLOWED = 9%+ BORROWED AREA	4,951	SF
% HARDSCAPE AREA ALLOWED	22.82%	
EXISTING HARDSCAPE COVERAGE		
UNCOVERED DECKS	468	SF
UNCOVERED PATIOS	1,007	SF
WALKWAYS	260	SF
STAIRS	451	SF
ROCKERIES/RETAINING WALLS	181	SF
HARDSCAPE COVERAGE	2,367	SF
HARDSCAPE AREAS REMOVED	(728)	SF
NEW HARDSCAPE COVERAGE		
UNCOVERED DECKS - REPLACED	75	SF
UNCOVERED PATIOS	60	SF
DOCK PATH	233	SF
STAIRS	49	SF
NEW RETAINING WALL	29	SF
COVERED DECK	60	SF
TOTAL NEW HARDSCAPE COVERAGE	506	SF
TOTAL HARDSCAPE AREA	1,751	SF
TOTAL HARDSCAPE %	8.07%	
GROSS LOT COVERAGE %	34.25%	
GROSS LOT COVERAGE CHANGE		
EXISTING LOT COVERAGE	5,020	SF
EXISTING HARDSCAPE COVERAGE	2,367	SF
TOTAL EXISTING GROSS COVERAGE	7,387	SF
REMOVED EXIST. LOT COVERAGE	(797)	SF
REMOVED EXIST. HARDSCAPE	(728)	SF
TOTAL REMOVED COVERAGE	-1,525	SF
NEW LOT COVERAGE	1,459	SF
NEW HARDSCAPE COVERAGE	506	SF
TOTAL NEW COVERAGE	1,965	SF
NEW GROSS COVERAGE TOTAL:	7,827	SF
NET GROSS COVERAGE CHANGED	440	SF



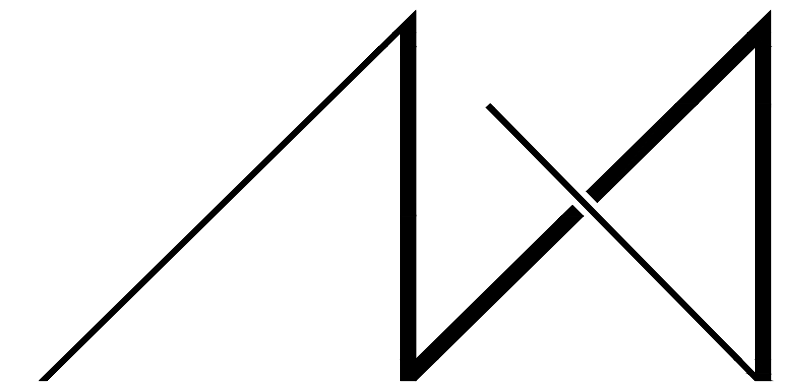
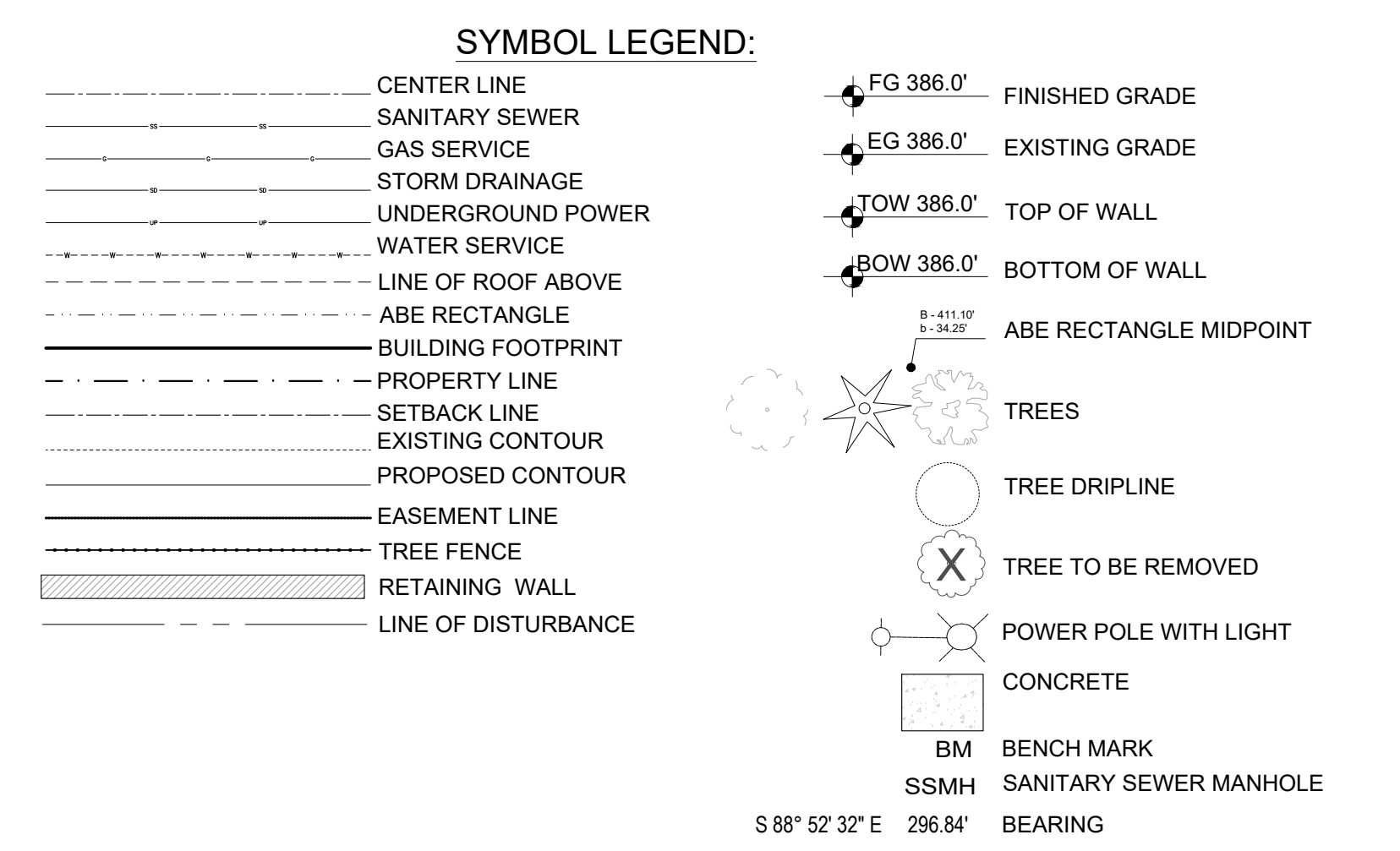
GROSS FLOOR AREA CALCULATION ZONE R9.6 (FROM OUTSIDE PERIMETER OF THE EXTERIOR WALLS)				
FLOOR	EXIST. AREA	REMOVED AREA	NEW/ADD AREA	TOTAL
UPPER FLOOR	1,430		100	1,530
MAIN FLOOR	1,677		67	1,744
GROSS BASEMENT AREA	1,290	681	400	1,009
GARAGE	505			505
STAIR CASE GFA MODIFIER			92	92
TOTAL BUILDING AREA	4,902	681	659	4,880
ACCESSORY BUILDING			576	576
LOT AREA	21,700	8,000	36.87%	
PROPOSED GROSS FLOOR AREA SQUARE FOOTAGE:				5,456
PROPOSED GROSS FLOOR AREA PERCENTAGE:				25.14%

FIRE AREA CALCULATION (FROM INSIDE PERIMETER OF THE EXTERIOR WALLS)	
AREA	SQ. FTG.
BASEMENT	1,638
1st FLOOR	1,663
2nd FLOOR	1,756
ATTACHED GRAGE	486
COVERED PORCH	64
COVERED DECKS	363
COVERED PATIO	126
TOTAL FIRE SF:	6,096



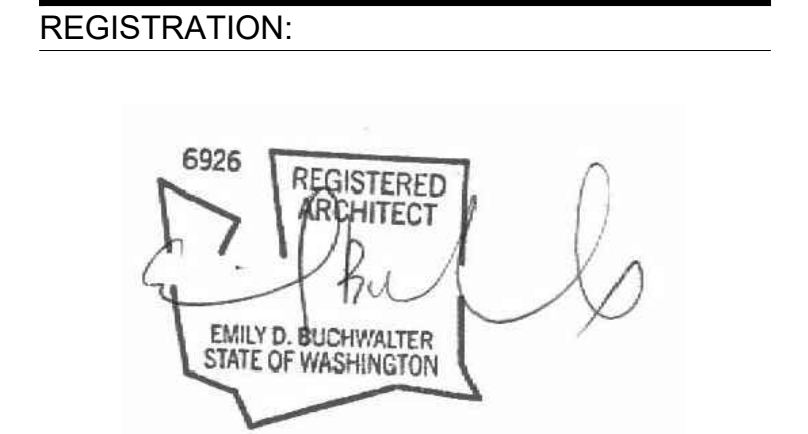
SITE PLAN
SCALE: 1" = 20'

LOT SLOPE:
HIGHEST ELEVATION POINT OF LOT: 54.4 FEET
LOWEST ELEVATION POINT OF LOT: 18.0 FEET
ELEVATION DIFFERENCE: 36.4 FEET
HORIZONTAL DISTANCE BETWEEN POINTS: 254.7 FEET
LOT SLOPE: 14.3%



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REGISTRATION: INTAKE: DATE:

- REVISIONS: DATE:
1. Robbin Proebsting comments 12-04-20
 2. PER COMMENT 01-2005-081-SUB1-PLANS 04-01-2021
 3. ADDED NOTES PER 2005-081-SUB2-PLANS 05-20-2021
 4. POST PERMIT REVISIONS 01-27-2022
 5. UPDATE PER 2005-081-REV1-SUB1-PLANS 03-15-2022

PROJECT / CLIENT:
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ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SITE PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

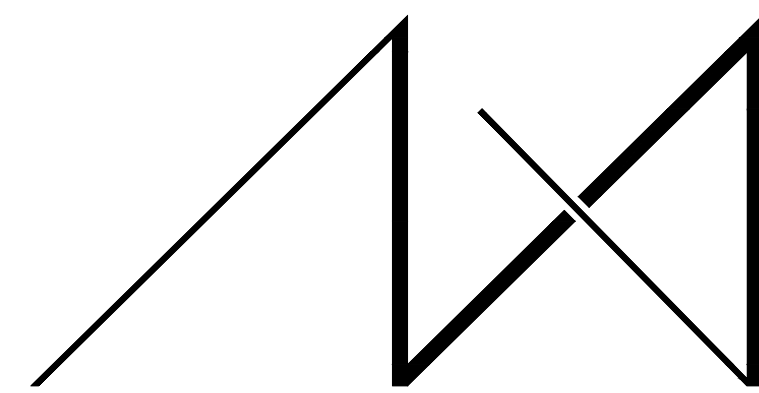
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CONSTRUCTION DOCUMENTS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1 **A0.1**



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REVISIONS: DATE:

1. POST PERMIT REVISION	01-11-2022
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3.	
4.	
5.	

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PARCEL # 082405-9027

DRAWING NAME:

SCHEDULES

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

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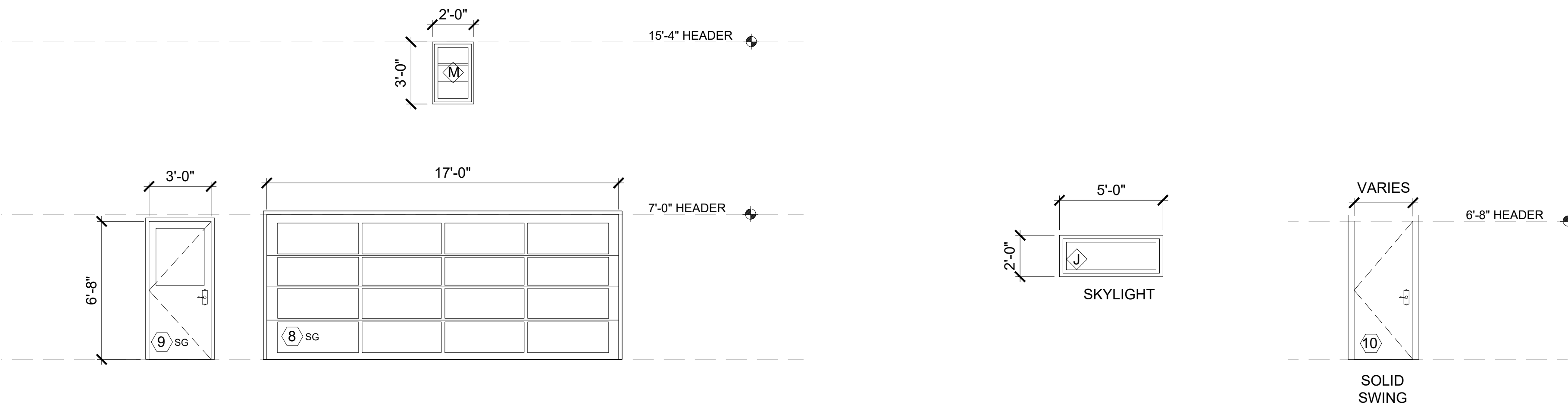
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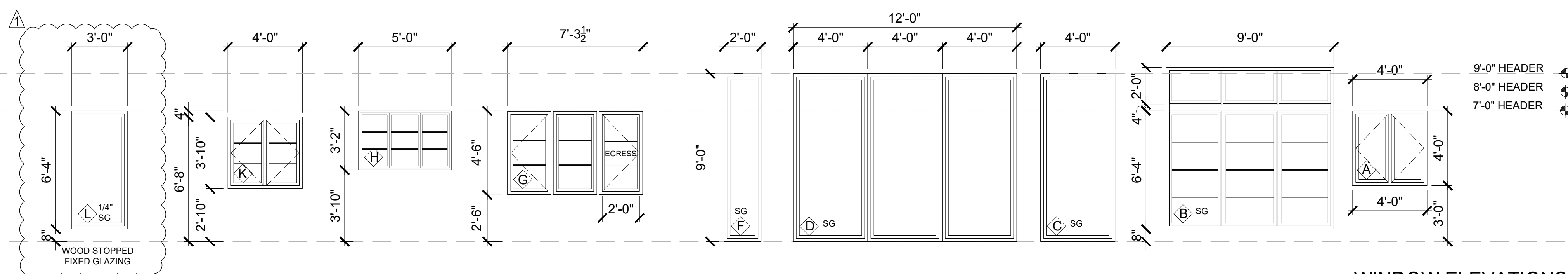
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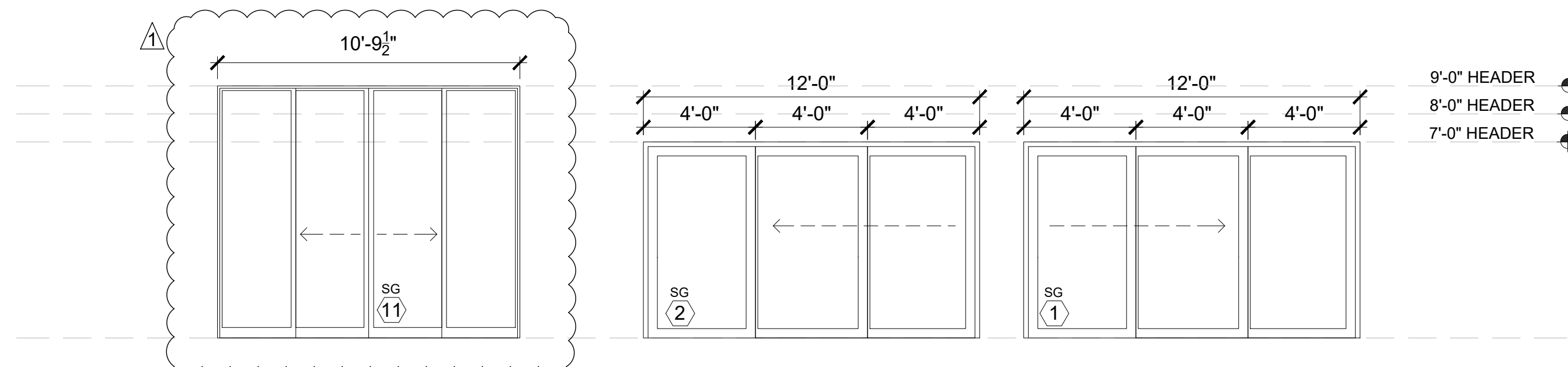
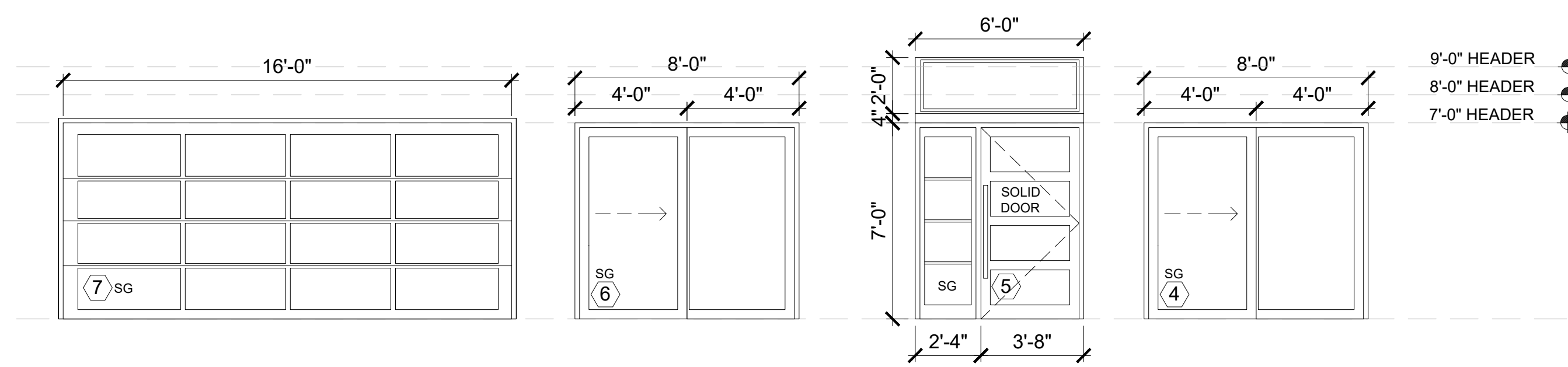
DETACHED GARAGE DOOR AND WINDOWS ELEVATIONS
SCALE: 1/4" = 1'-0"

SKYLIGHT ELEVATIONS
SCALE: 1/4" = 1'-0"

INTERIOR DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"



WINDOW ELEVATIONS
SCALE: 1/4" = 1'-0"



NOTE:
DIMENSIONS INDICATE ROUGH OPENINGS.
MANUFACTURER TO SIZE WINDOWS ACCORDINGLY.
FIELD MEASURE PRIOR TO ORDERING. VERIFY SIZE REQUIREMENTS FOR EGRESS.

EXTERIOR DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

INTERIOR DOOR SCHEDULE										
NO	Qty	LOCATION	W	H	MANUF	TYPE	HARDWARE	REMARKS		
10	1	OFFICE	2'-6"	6'-8"	TBD	SOLID SWING				
								ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-0" DOORS		
1		DOOR COUNT								

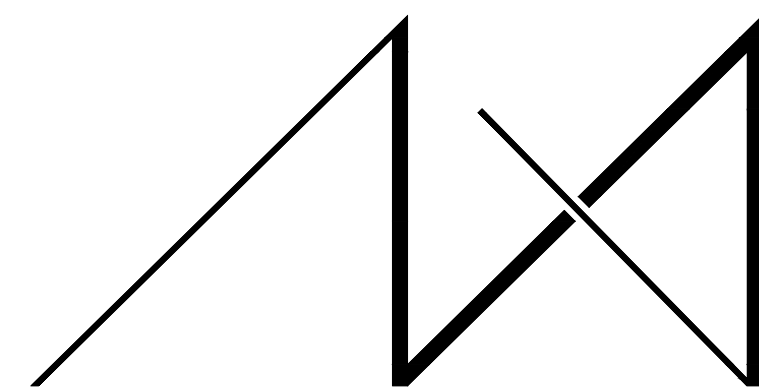
NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015

WINDOW SCHEDULE											
NO	Qty	LOCATION	WIDTH	HEIGHT	AREA	MANUF.	U-VAL	TYPE	SCREEN	HARDWARE	REMARKS
A	1	NEW EXERCISE ROOM	4'-0"	4'-0"	16.00	TBD	0.28	CSMT/CSMT	Y	TBD	
B	1	FORMAL DINING ROOM	9'-0"	8'-4"	74.70	TBD	0.28	FIXED	N	TBD	TRANSOM,GRIDS
C	1	FAMILY ROOM	4'-0"	9'-0"	36.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
D	1	FAMILY ROOM	12'-0"	9'-0"	108.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS, MULLED
E	1	EXISTING WINDOWS									
F	1	FAMILY ROOM	2'-0"	9'-0"	18.00	TBD	0.28	FIXED	N	TBD	SAFETY GLASS
G	1	BEDROOM 3	7'-3.5"	4'-6"	32.85	TBD	0.28	CSMT/CSMT/CSMT	Y	TBD	EGRESS, GRIDS
H	1	ABOVE FOYER	5'-0"	3'-2"	15.50	TBD	0.28	FIXED	N	TBD	GRIDS, SAFETY GLASS
I	1	NOT USED	0	0	0.00						
J	1	FOYER	2'-0"	5'-0"	10.00	TBD	0.43	SKYLIGHT	N	TBD	SKYLIGHT
K	1	NEW OFFICE	4'-0"	3'-10"	8.34	TBD	0.28	CSMT/CSMT	Y	TBD	GRIDS
L	2	NEW EXERCISE RM INTERIOR	3'-0"	6'-4"	37.80	TBD		FIXED	N	TBD	SAFETY GLASS
M	1	DETACHED GARAGE WINDOW	2'-0"	3'-0"	6.00	TBD		FIXED	N	TBD	NON-CONDITIONED
					229.39		0.28			64.23	
					10.00	SF	0.43			4.3	NOTE: SEE A03.3 & A04.1.2 FOR WINDOW DIVISIONS
14		WINDOW COUNT						U X A =		68.53	

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE. CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR SIZES AND EGRESS REQUIREMENTS PRIOR TO ORDERING. VERIFY SWING DIRECTION WITH OWNER.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH
3. ALL WINDOWS TO BE NFRC CERTIFIED AND LABELED

EXTERIOR DOOR SCHEDULE											
NO	Qty	LOCATION	W	H	MANUF.	AREA	U-VAL	TYPE	CONFIGURATION	HARDWARE	REMARKS
1	1	NEW EXERCISE ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
2	1	NEW SITTING ROOM	12'-0"	7'-0"	TBD	84.0	0.28	SLIDING	XXO		SAFETY GLASS
3	0	NOT USED	0	0	TBD	0.0	0.28				
4	1	KITCHEN	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
5	1	FOYER	6'-0"	9'-0"	TBD	54.0	0.28	SOLID SWING WITH SIDE LITE & TRANSOM			ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS
6	1	MASTER BEDROOM	8'-0"	7'-0"	TBD	56.0	0.28	SLIDING	XO		SAFETY GLASS
7	1	GARAGE	16'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X		GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN
8	1	DETACHED GARAGE	17'-0"	7'-0"	TBD			OVER HEAD GARAGE DOOR	X		GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN
9	1	DETACHED GARAGE ENTRY	3'-0"	8'-0"	TBD		0.28	SOLID SWING	X		ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS
11	1	LIVING ROOM	11'-0"	9'-0"	TBD	99.0	0.28	SLIDING	OXXO		1/2 LIGHT, SAFETY GLASS
TOTAL					SF	433.0	0.28	TOTAL U X A =			121.2

NOTES:
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015
5. ALL DOOR WITH GLAZING TO BE NFRC CERTIFIED AND LABELED



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DRAWING NAME:

FOUNDATION PLAN

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

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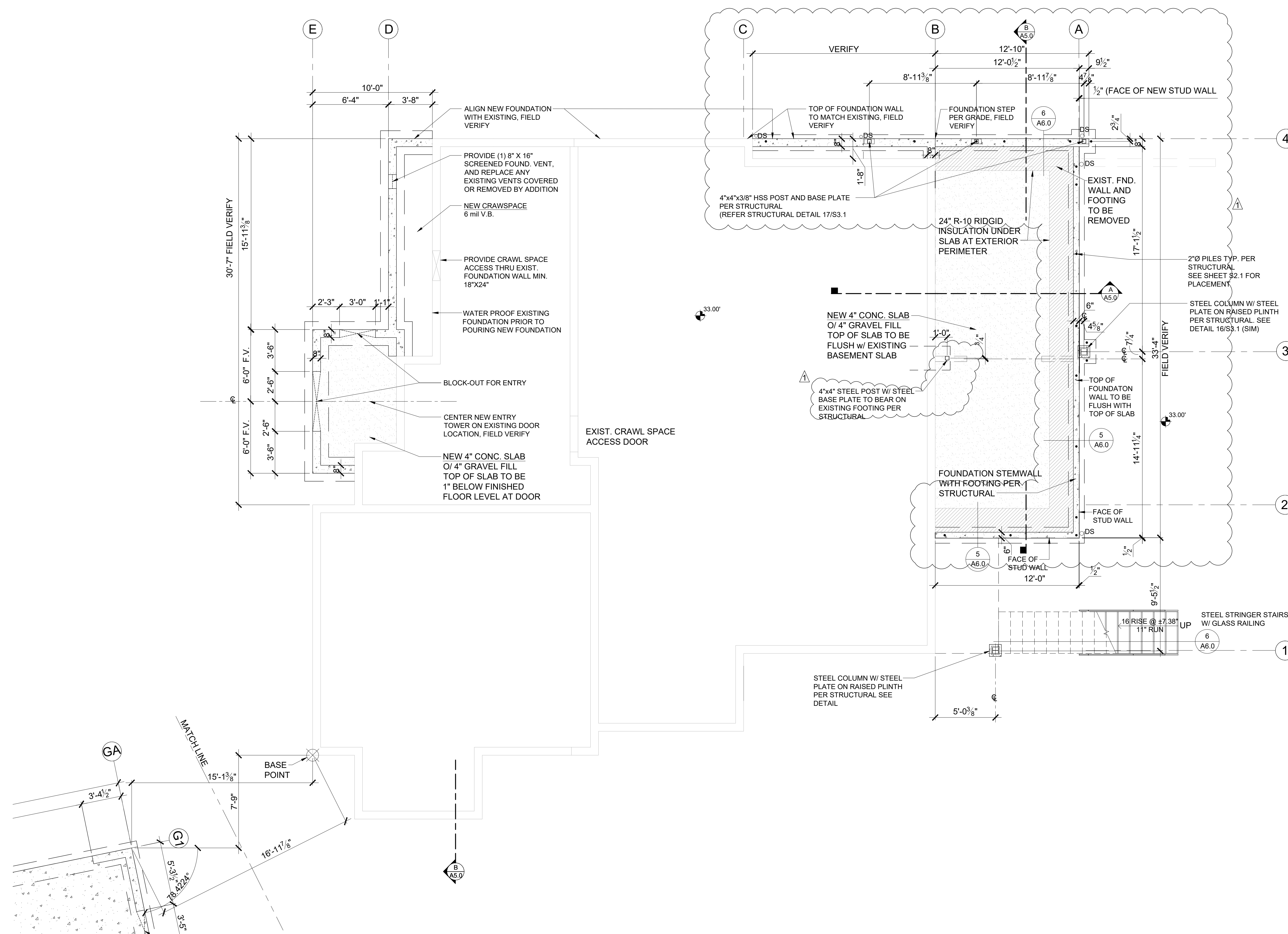
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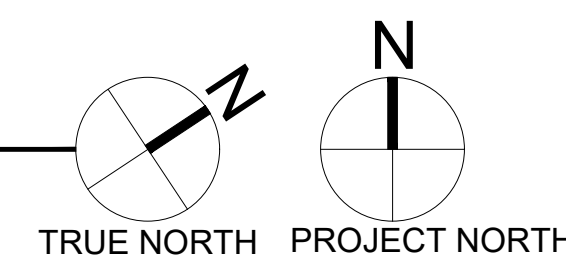
PLOT SCALE: 1:1

A1.0



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

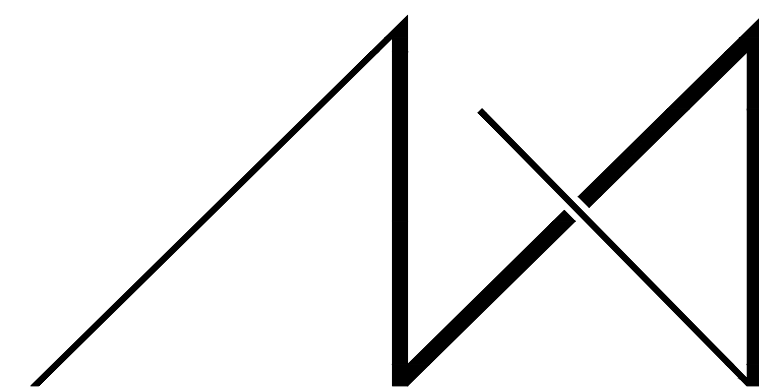


CRAWL SPACE - VENTILATION CALCULATION				
Added Crawl Space Area:	51	s.f.		
Ventilation Required:	51	s.f. x 144 s.i.1 / 1,500"	4.9	s.i. Req'd
Use:	16"x8"	Foundation Vents		
Vent Area =	98.0	s.i. - 25% reduction + 1/4" mesh	73.5	s.i.
Number of vents required:	4.9	s.i. / vent area	0.1	vents
Provide:	1.0		73.5	Provided
Total Min. Ventilation Provided =	73.5	s.i. IS GREATER THAN	4.9	s.i. Req'd

* 2015 IRC - PER R408.1 THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE

SYMBOL LEGEND

- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN
- CRAWL SPACE VENT



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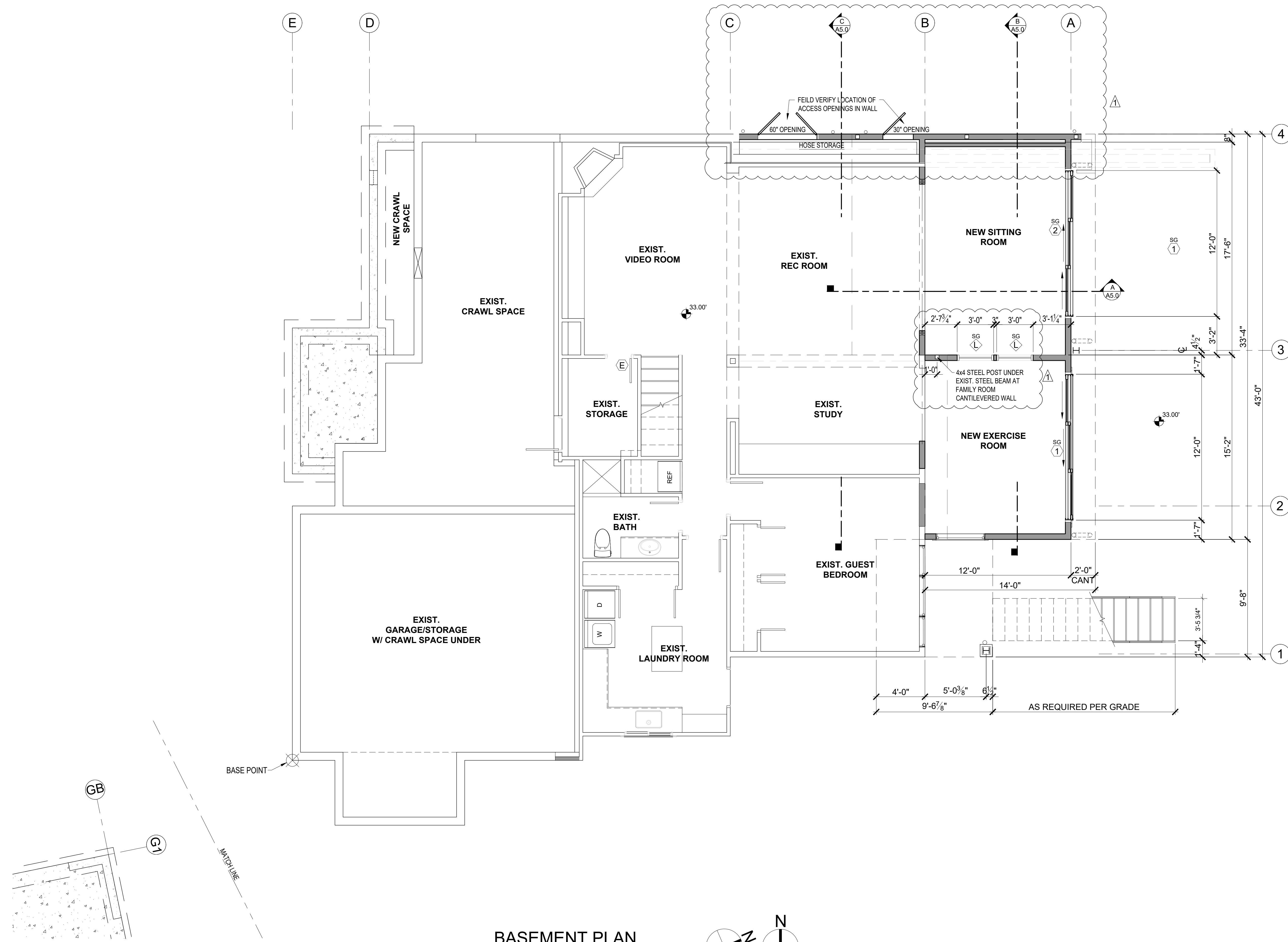
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BASEMENT PLAN

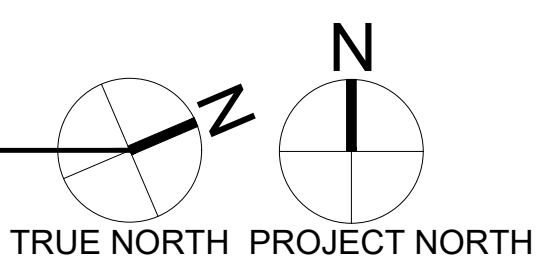
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" U.N.O.
- SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
- ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.

SYMBOL LEGEND

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- D DOORS
- C WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- \otimes POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN



HOUSE VENTILATION

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6

SYMBOL	LOCATION	MINIMUM FAN REQUIREMENTS
A	Bath & Powder	Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)
B	Kitchen	Min. 100 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.3) (Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4.
C	Laundry Room	Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-6 BEDROOMS 3001+ 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT

DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE
*ALL FANS TO VENT TO OUTSIDE
**PER M1507.3.4: WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:
ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS.
CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

DRAWING NAME:

BASEMENT CONSTRUCTION PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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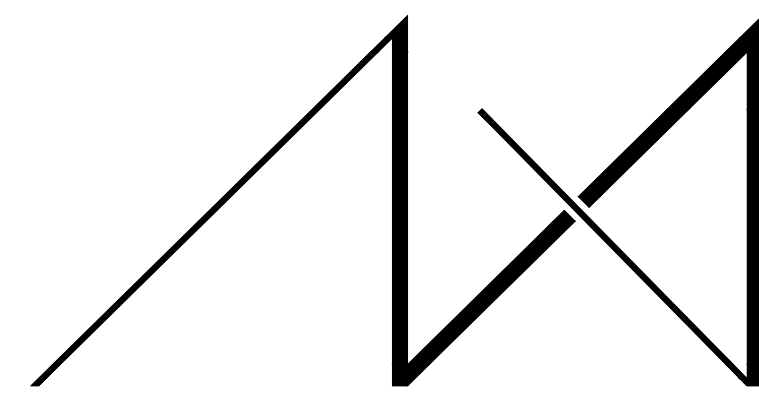
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PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

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- 1. COMMENT 01-2005-081-SUB1-PLANS 04-01-2021
- 2. UPDATED COMMENT PER SUB2-PLANS 06-03-2021
- 3. UPDATED COMMENT PER SUB3-PLANS 07-13-2021
- 4. UPDATED DOOR OUTDOOR KITCHEN 01-28-2022
- 5.

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

1ST FLOOR CONSTRUCTION PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

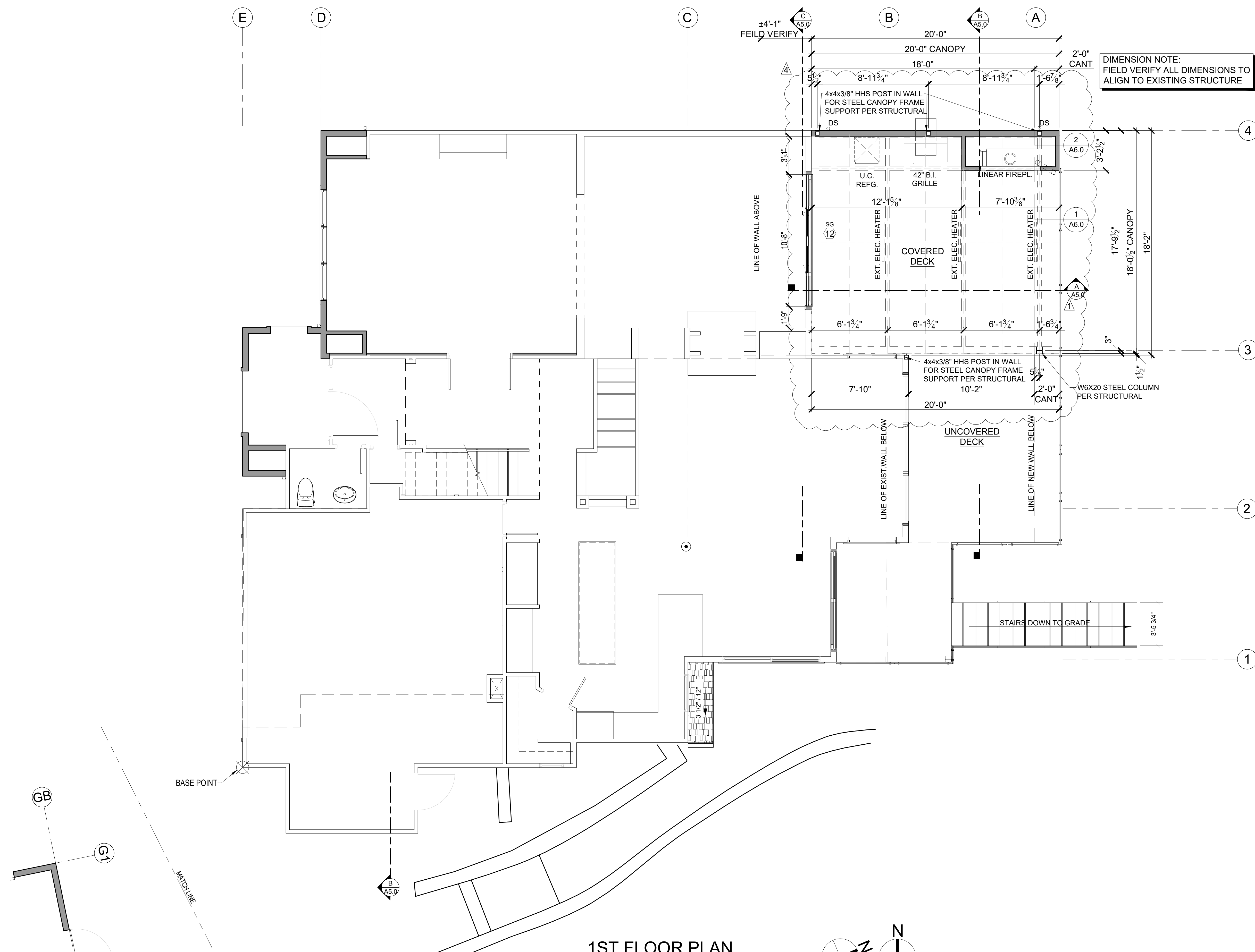
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1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" U.N.O.
- SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1
- ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED. COLOR TO BE DETERMINED.
- AT COVERED DECK STEEL POSTS INSTALL WATERPROOF FLUID MEMBRANE UP TO UNDERSIDE OF PAVER SURFACE.
- APPLY WATERPROOF FLUID MEMBRANE UP SIDES OF EXISTING STRUCTURE AND FLASH.
- APPLY WATERPROOF FLUID MEMBRANE AT BUILT-IN CABINETS AND FIREPLACE WALL AND FLASH.

SYMBOL LEGEND

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- g DOORS
- C WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL W/ FOOTING
- NEW 2X WALLS
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- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

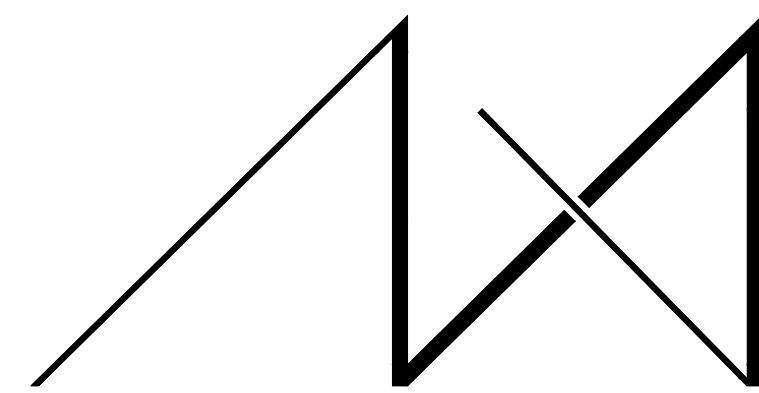
HOUSE VENTILATION

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NOTE:
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CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.
LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

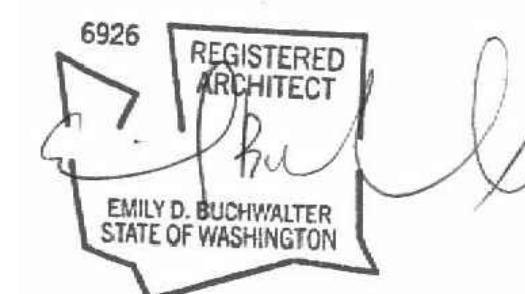


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JOB ADDRESS:

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PARCEL # 082405-9027

DRAWING NAME:

**2ND FLOOR
CONSTRUCTION PLAN**

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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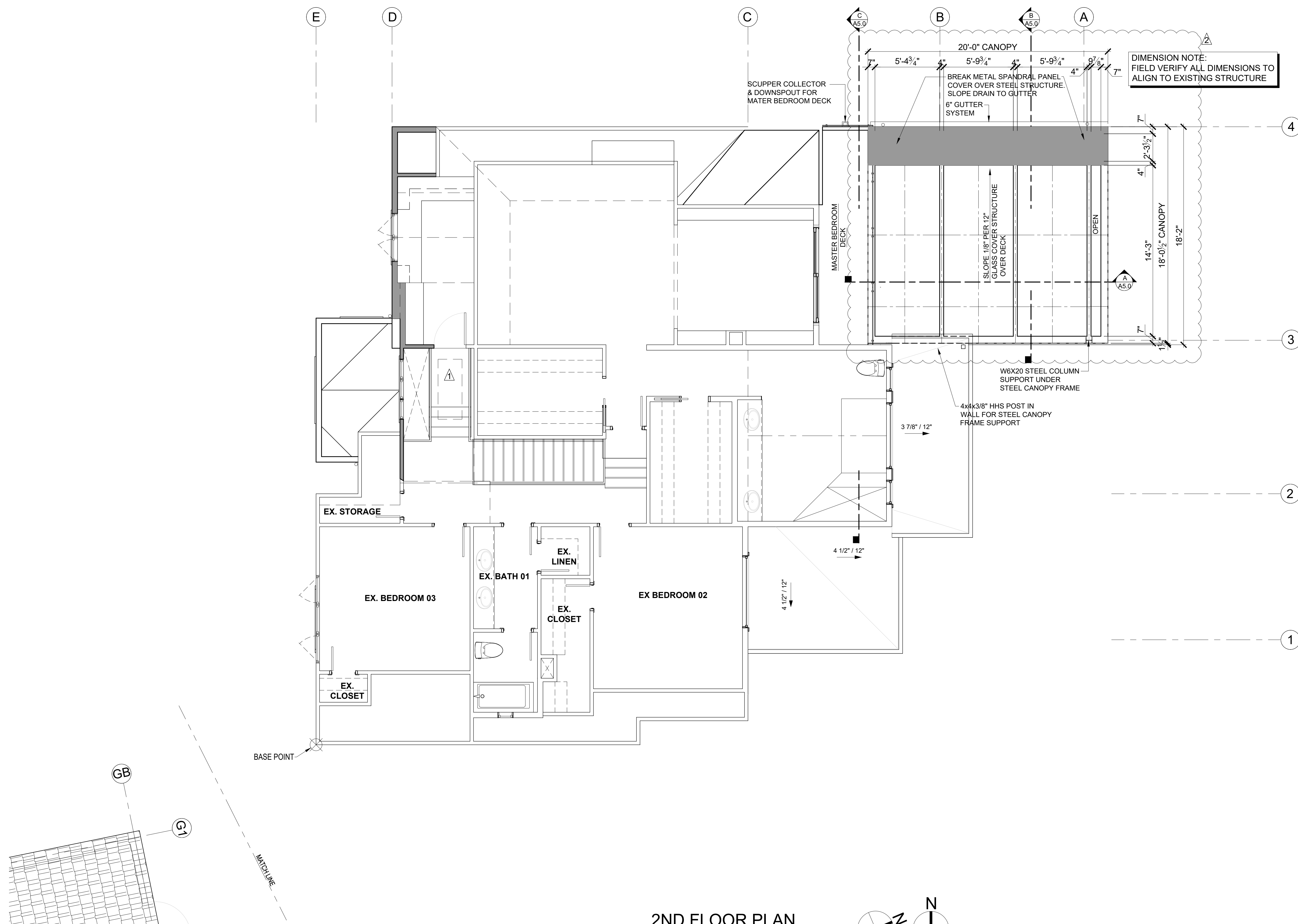
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DATE: 12-22-2020

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A2.2



2ND FLOOR PLAN

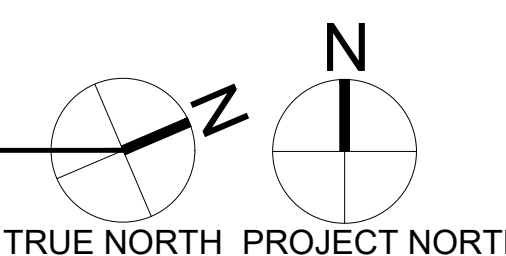
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

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3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4 5/8" U.N.O.
7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
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13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
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SYMBOL LEGEND

- SD SMOKE DETECTOR
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- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN



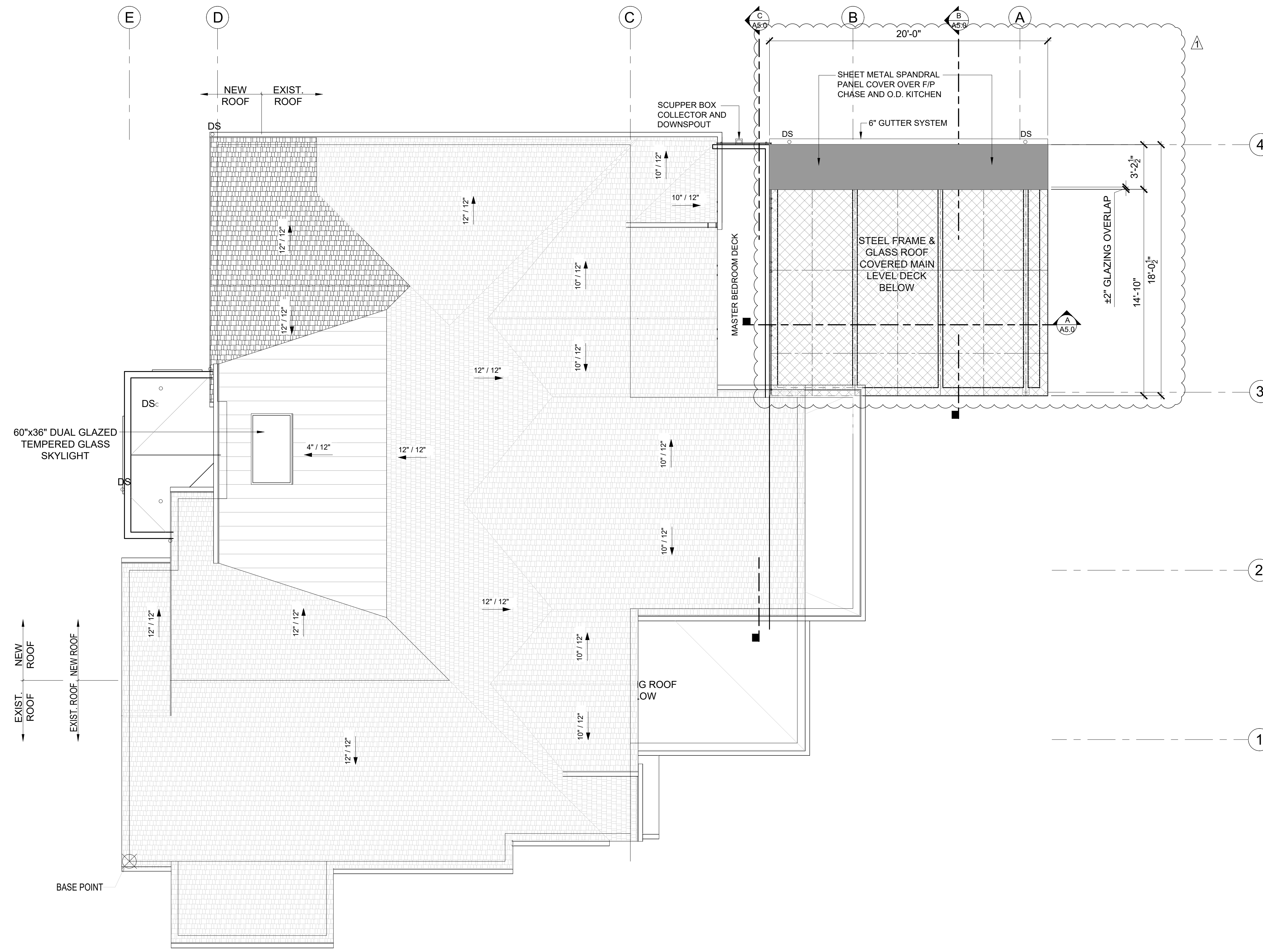
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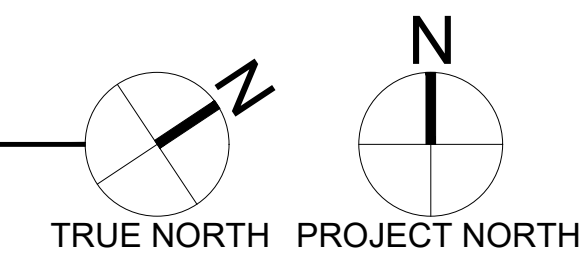
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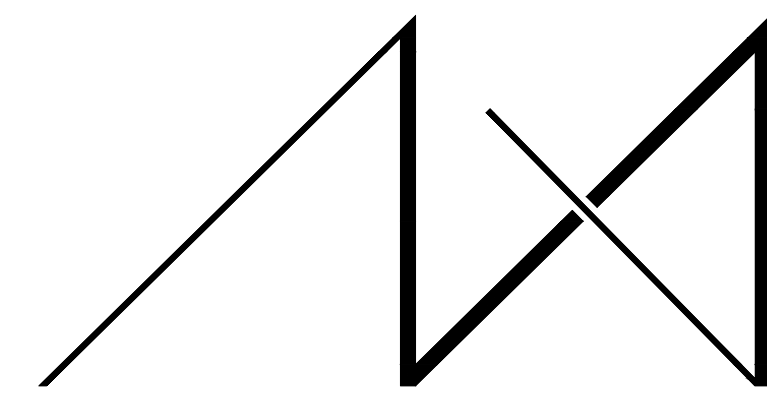
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LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.



ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF - VENTILATION CALCULATION				
Stick built Roof Construction:				
Roof Area:	356.7	s.f.		
Ventilation Required:	356.7	s.f. x 144 s.i. / 300"=	171.2	s.i. Req'd
Proposed Ventilation :				
SmartVent Shingle vent (upper or ridge)	4.5	s.i. nfa / l.f.=	4.5	s.i. / l.f.
Provide :	20.0	l.f. Upper Ventilation =	90.0	s.i.
SmartVent Shingle vent (lower roof edge)	4.5	s.i. nfa / l.f. =	4.5	s.i.
Provide:	20.0	l.f. Eave Edge Ventilation =	90.0	s.i.
Total Ventilation Provided	180.0	s.i. IS GREATER THAN	171.2	s.i. Req'd

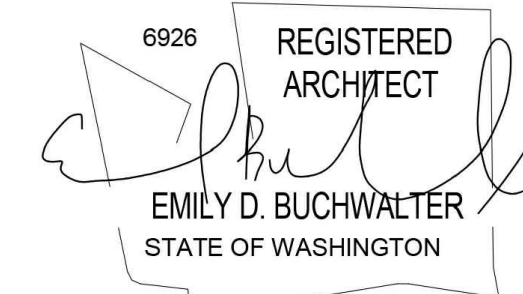


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9820 SE 35TH PLACE
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JOB ADDRESS:

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PARCEL # 082405-9027

DRAWING NAME:

ROOF PLAN

Drawn By: JMG, RB
Checked By: EB
Owner Approval: _____

PHASE:

CONSTRUCTION DOCUMENTS

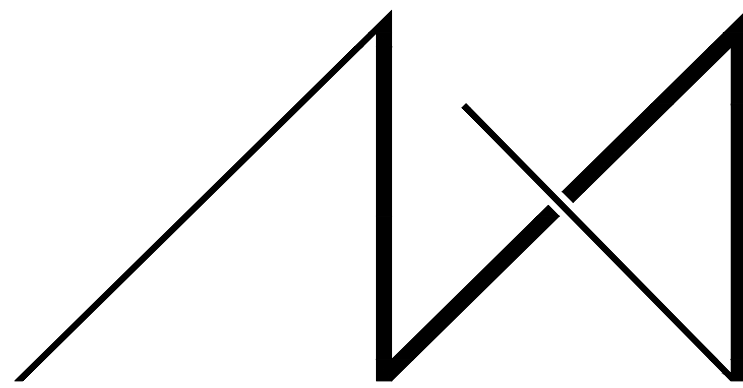
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ELEVATIONS

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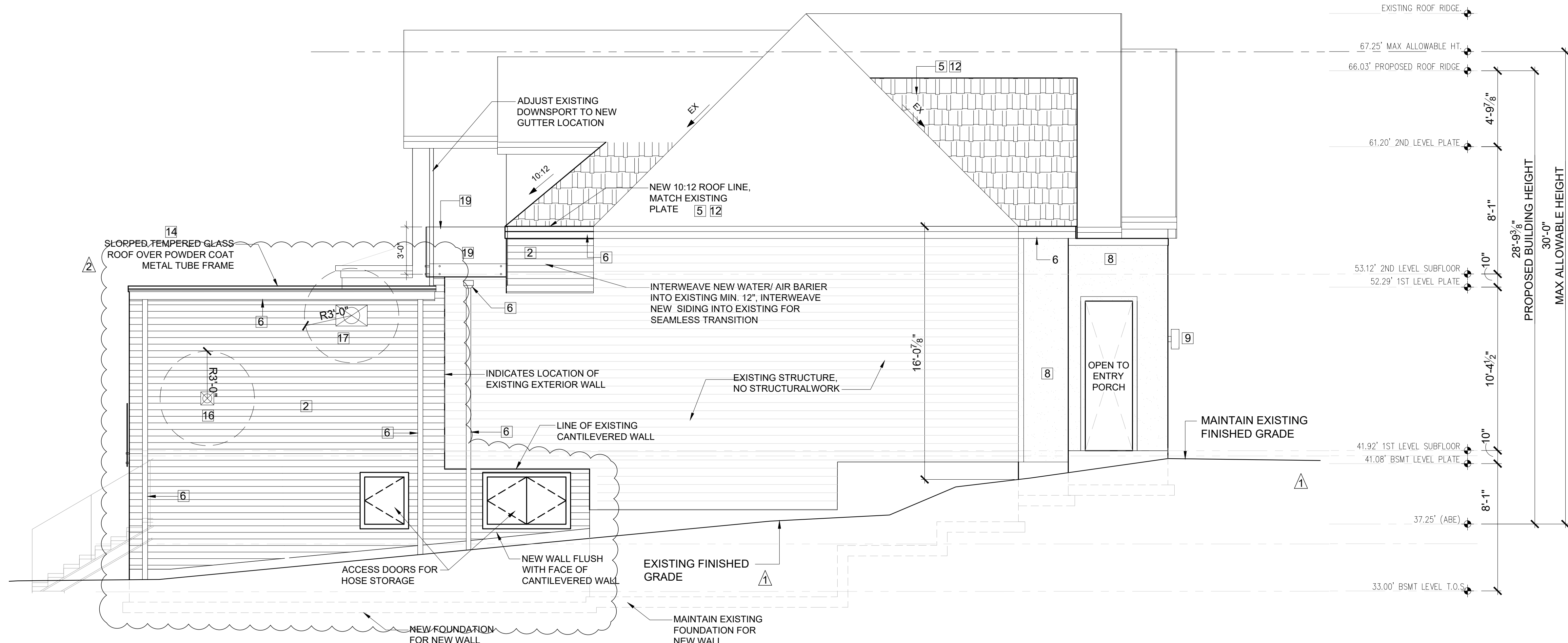
ELEVATIONS NOTES & KEY NOTES:

- VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- MATCH EXISTING CEDAR SIDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDAR SIDING TO OLD AND EXTEND VAPOR BARRIER MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
- CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. ROOF DRAINS AND SCUPPERS SHALL BE INSTALLED PER IRC SECTION R903.4. PROVIDE EMERGENCY OVERFLOW PER IRC SECTION 1503.4.1. TYPICAL SEE ROOF PLAN SHEET A3.0. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2. SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
- LIGHTING AT EXTERIOR DOORS, TYP.
- POWDER COATED COPING
- TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GRAY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
- MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
- 12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
- POWDER COATED STEEL FRAME FOR INSTALLATION OF TEMPERED LAMINATED GLASS ROOF CANOPY, INSTALL BY ROOF CANOPY MANUFACTURER.
- POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
- FIRE PLACE VENT
- HOOD VENT OVER BARBEQUE.
- FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM 1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE, DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
- GLASS RAILING HANDRAIL: SIDE MOUNTED FRAMELESS GLASS RAIL SYSTEM WITH NON-GLARE TEMPERED GLASS PANELS.
- WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.
- PORCELAIN PAVERS DECK SYSTEM INSTALL PER PORCELANOSA MANUFACTURER INSTRUCTIONS.
- WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
- STONE TILE VENEER.
- BLACKEN STAINLESS STEEL

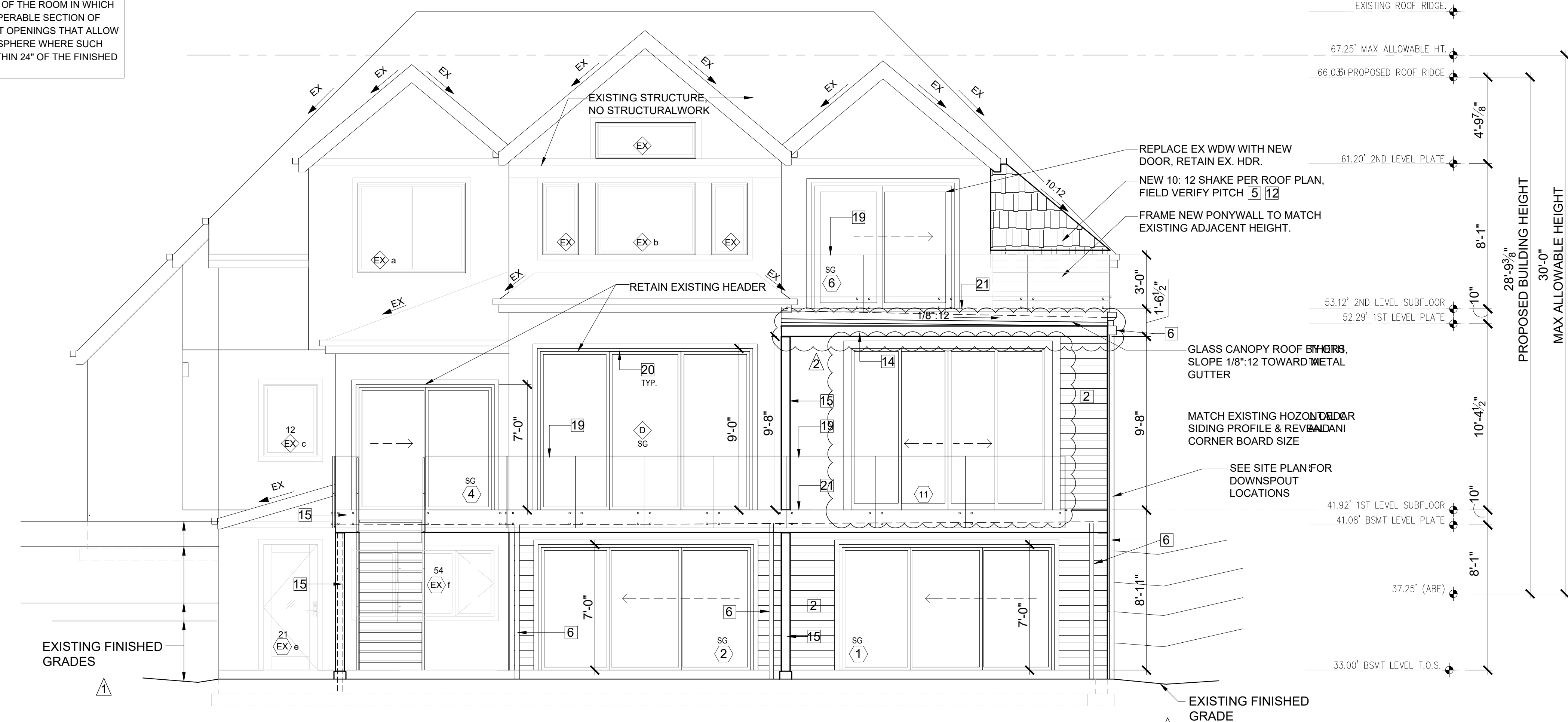
NOTE: REQUIRED GUARDS SHALL NOT HAVE OPENINGS FOR THE WALKING SURFACE TO THE REQUIRE GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

PER IRC - 301.5 CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

R312.2.1 - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.

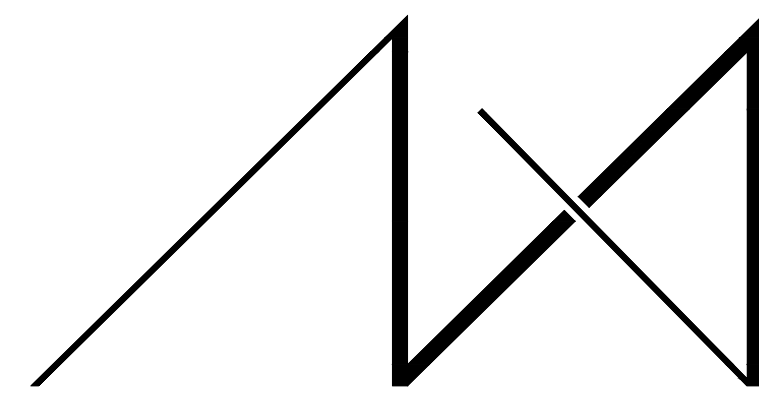


NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

..\\..\\..\\01 GENERAL\01.08 PERMIT FILES\jpg FILES\Outdoor kitchen 3D.png



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4.	
5.	

PROJECT / CLIENT:

9820 SE 35TH PLACE

ACHIN & MARY CHEN
9820 SE 35TH PLACE
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE
MERCER ISLAND, WA 98040
PARCEL # 082405-9027

DRAWING NAME:

SECTIONS

Drawn By: JMG, RB
Checked By: EB
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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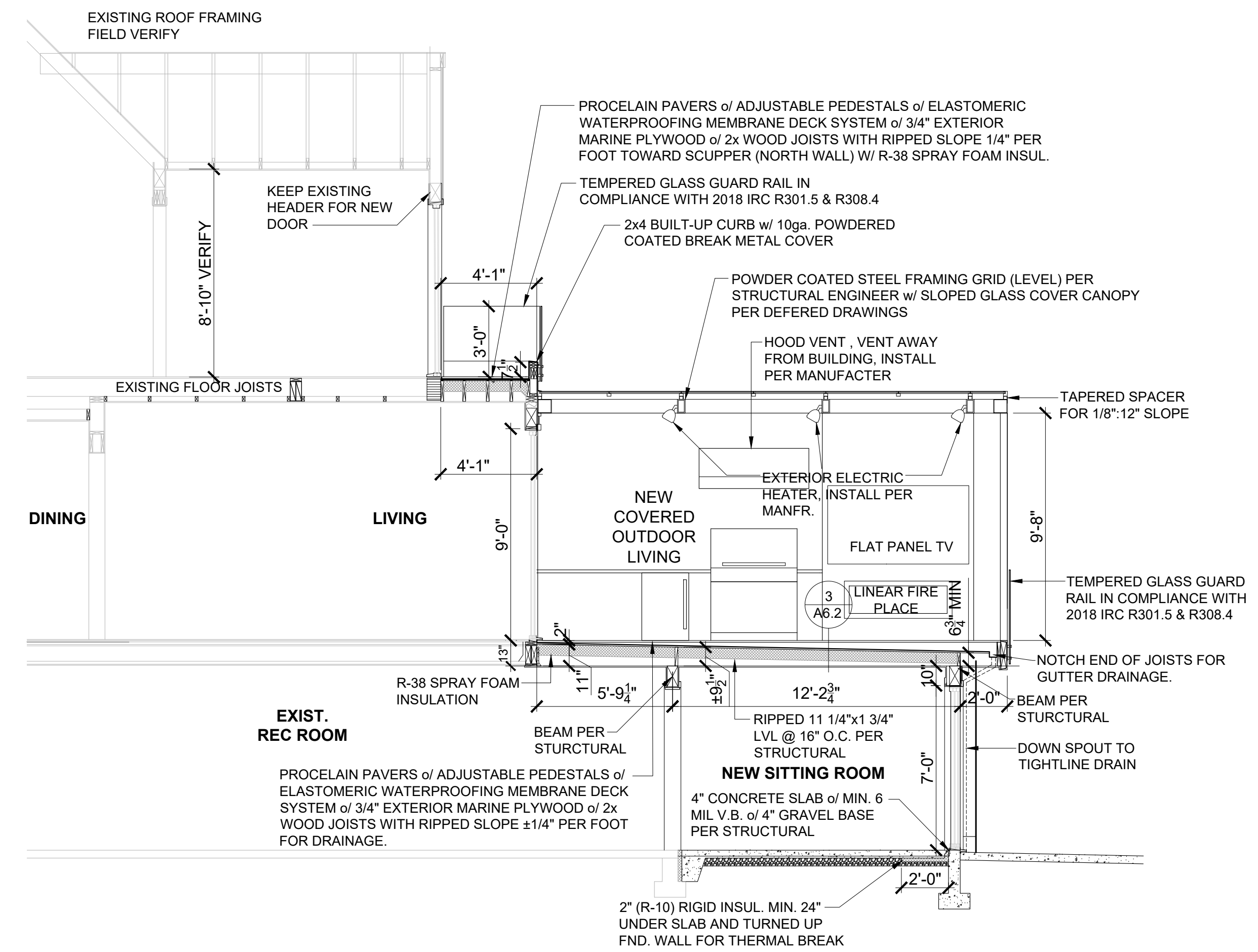
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

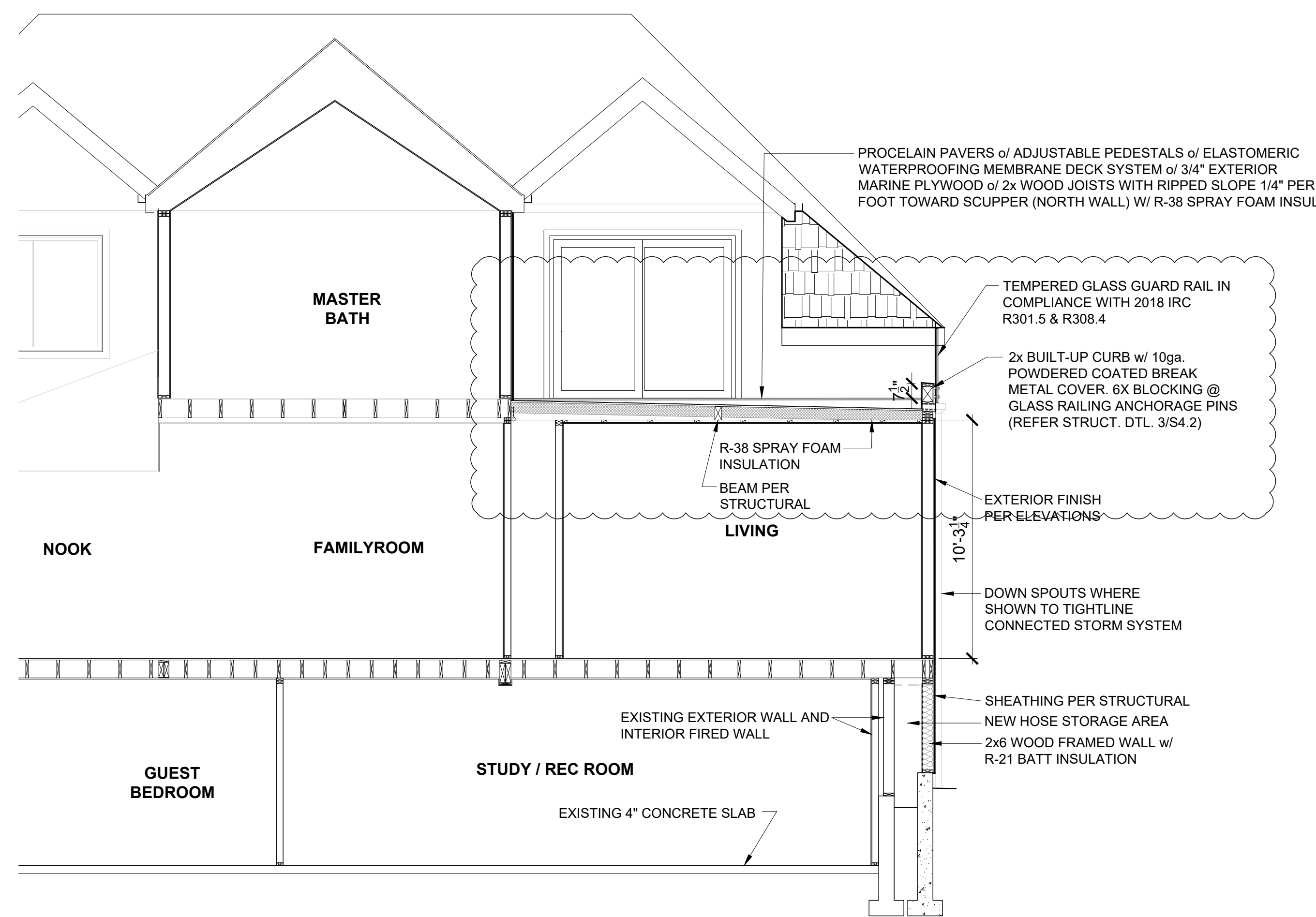
A5.0



EAST-WEST SECTION

SCALE: 1/4" = 1'-0"

A

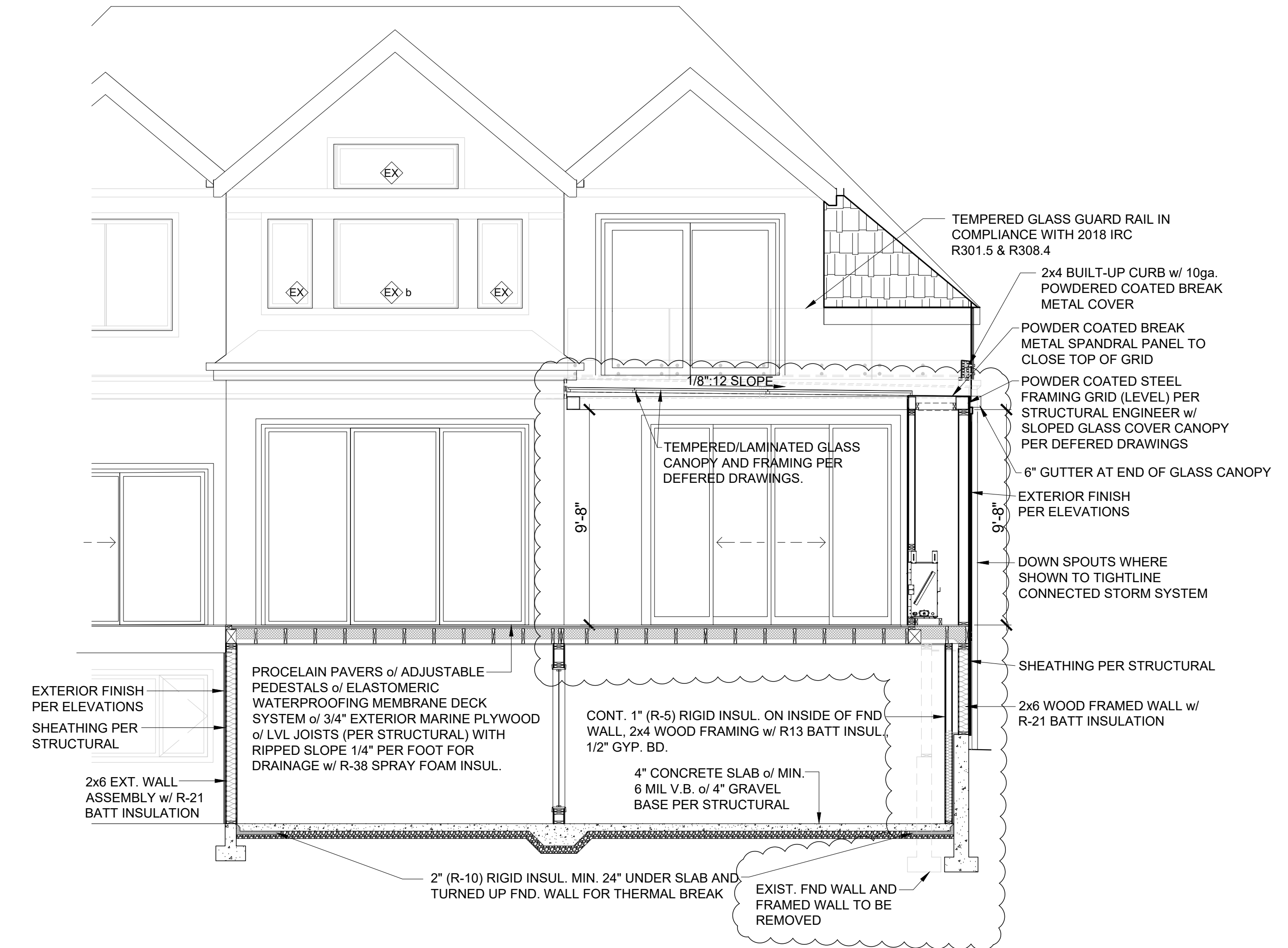


NORTH-SOUTH SECTION

SCALE: 1/4" = 1'-0"

C

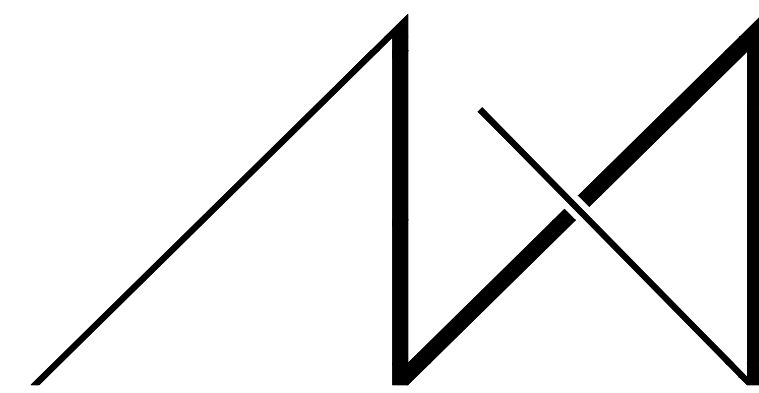
MSTR. BEDROOM DECK



NORTH-SOUTH SECTION

SCALE: 1/4" = 1'-0"

B



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REGISTRATION:

INTAKE: DATE:

REVISIONS:	DATE:
1. PER COMMENT 01-2005-081-	04-01-2021
2. SUB1-PLANS	
3. UPDATED COMMENT PER	07-13-2021
4. SUB3-PLANS	
5. Detail added	02-17-2022

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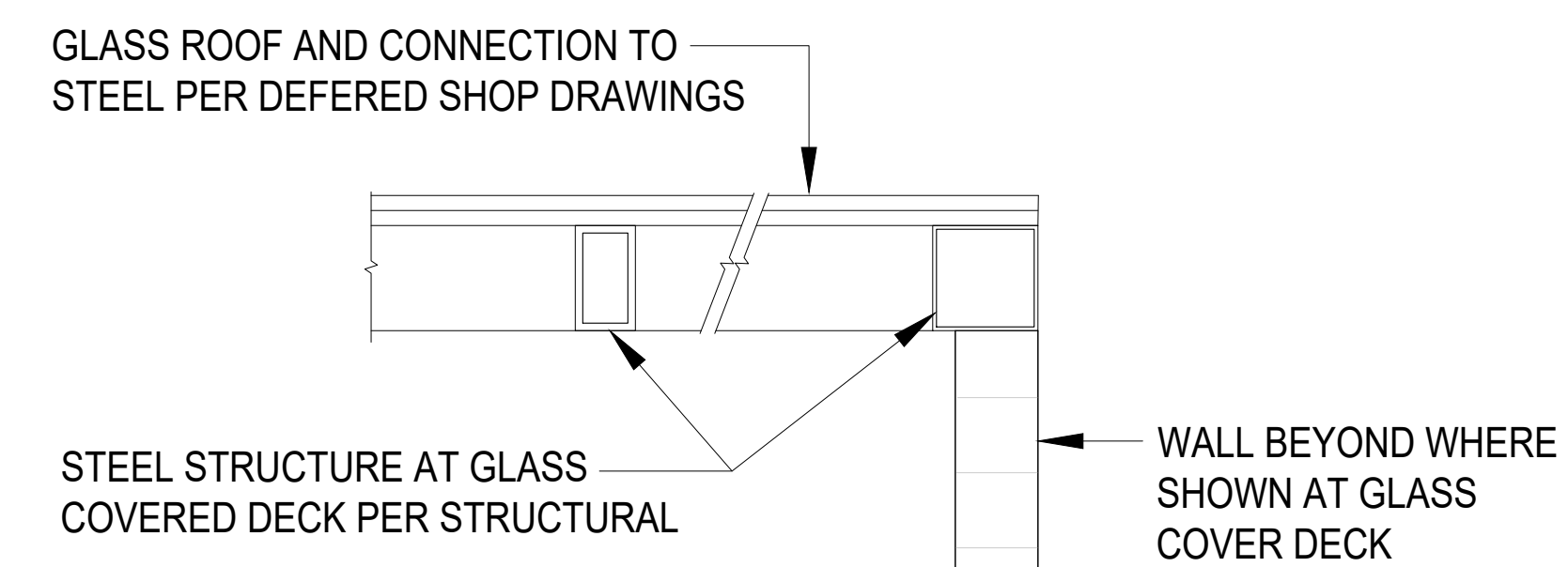
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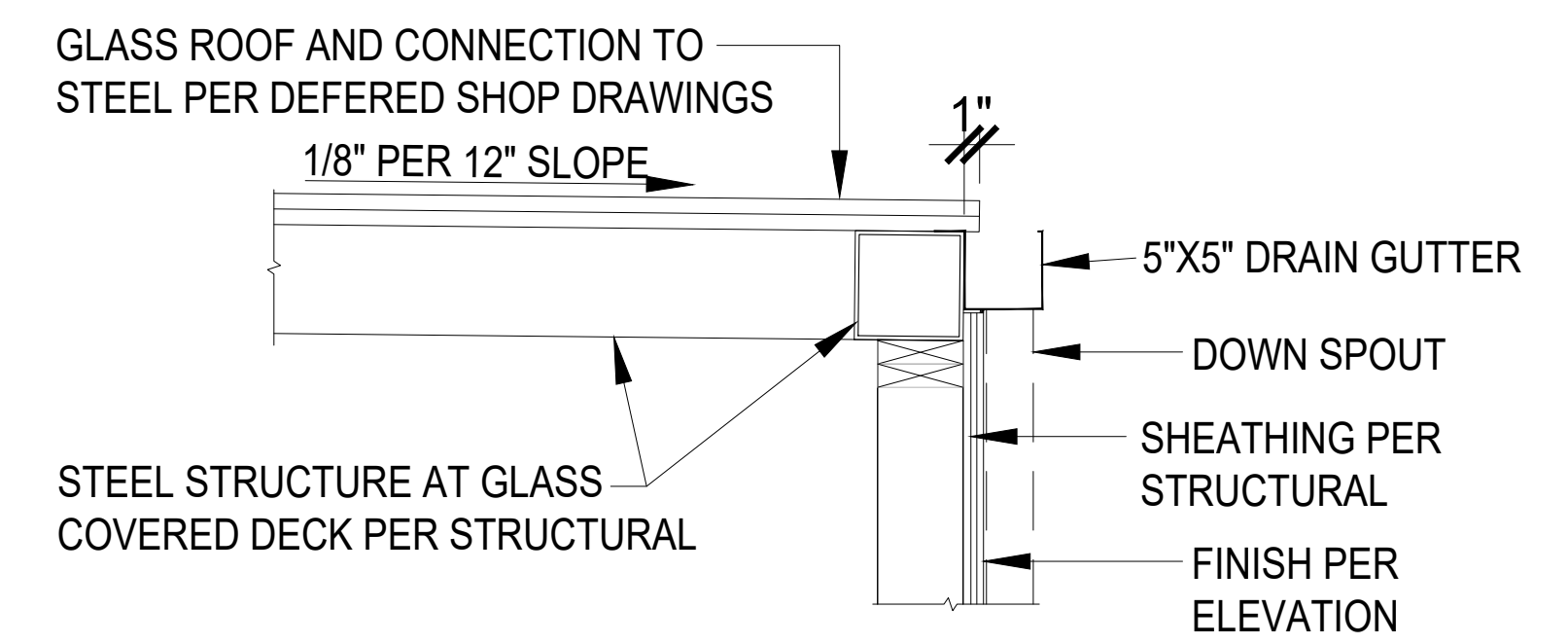
PROJECT No.: 2020 007
DATE: 12-22-2020

PLOT SCALE: 1:1

A6.0



8 GLASS COVERED DECK STRUCTURE DETAIL
SCALE: 1" = 1'-0"
EAST-WEST SECTION



4 GLASS COVERED DECK STRUCTURE DETAIL
SCALE: 1" = 1'-0"
NORTH END

16 XXX
SCALE: 1" = 1'-0"

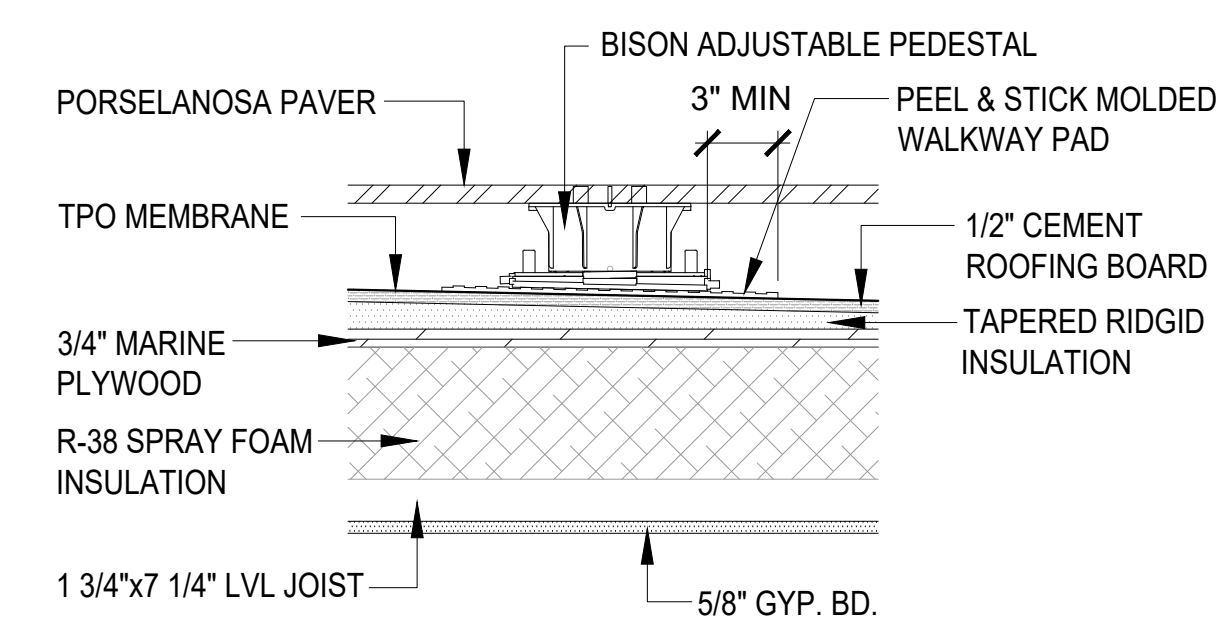
12 XXX
SCALE: 1" = 1'-0"

15 XXX
SCALE: 1" = 1'-0"

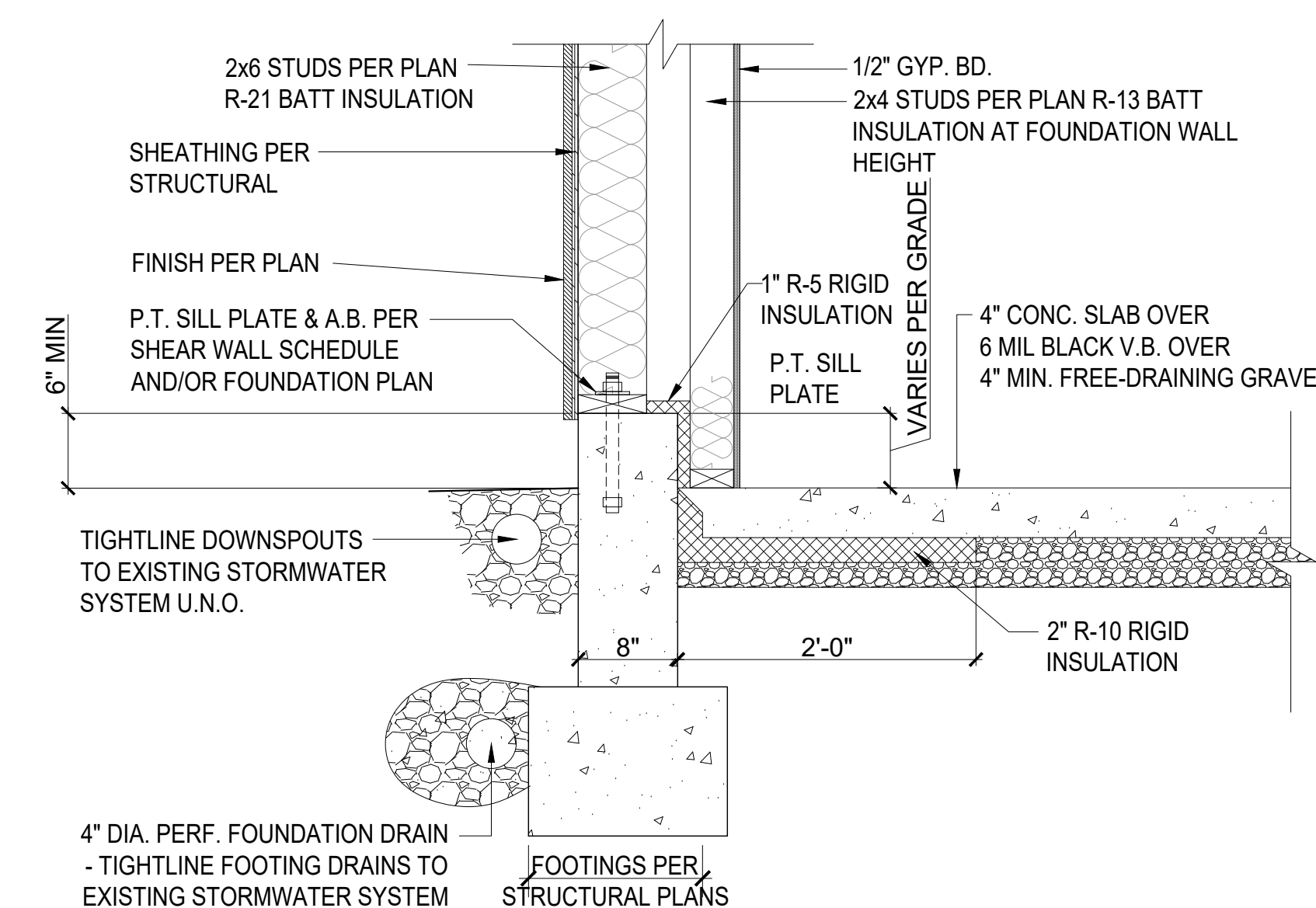
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SCALE: 1" = 1'-0"

7 XXX
SCALE: 3" = 1'-0"

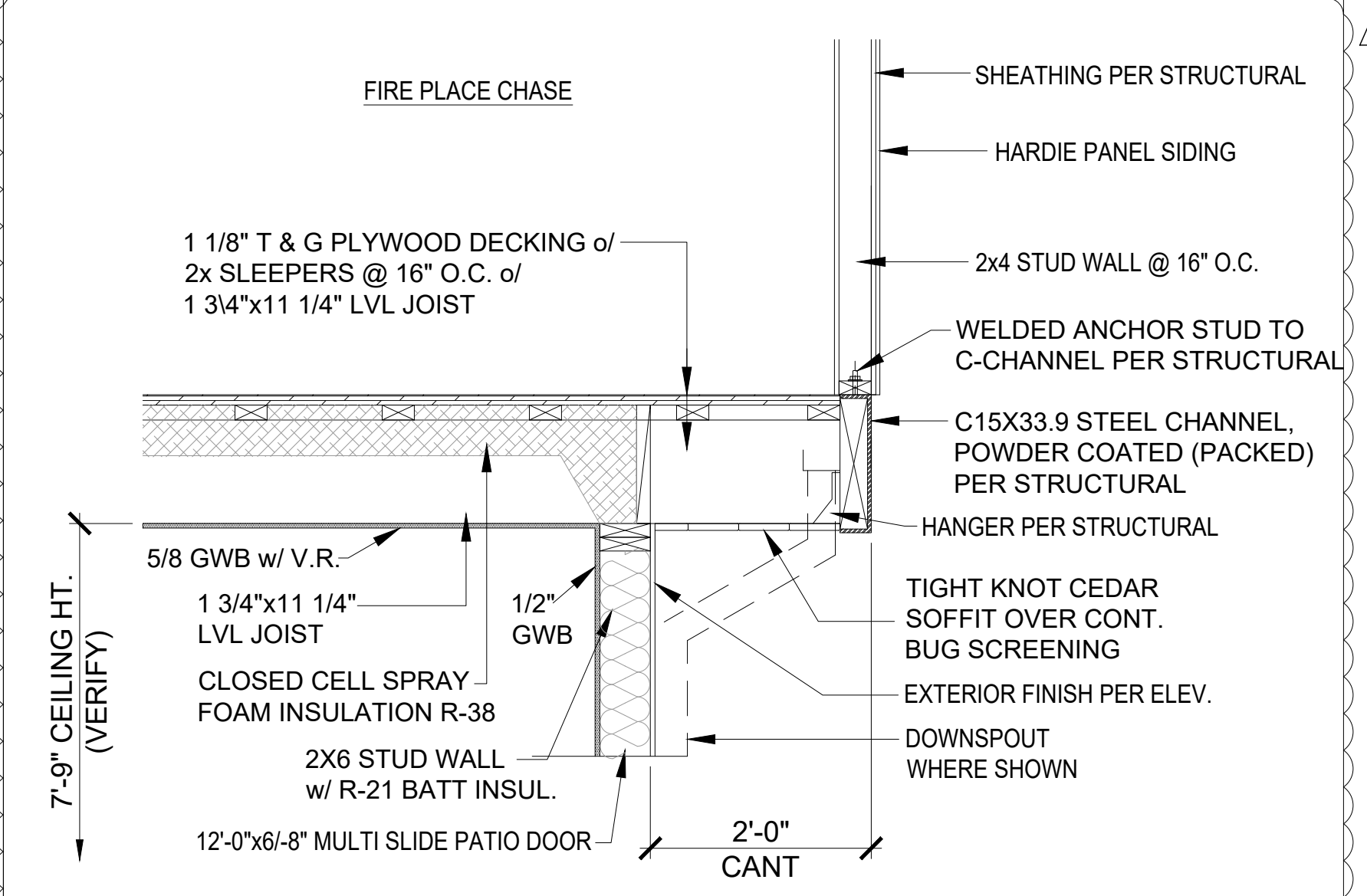
3 XXX
SCALE: 3/4" = 1'-0"



10 DECK PEDESTAL/PAVER ASSEMBLY
SCALE: 1" = 1'-0"



6 FOUNDATION WALL @ NORTH WALL ADDITION
SCALE: 1" = 1'-0"



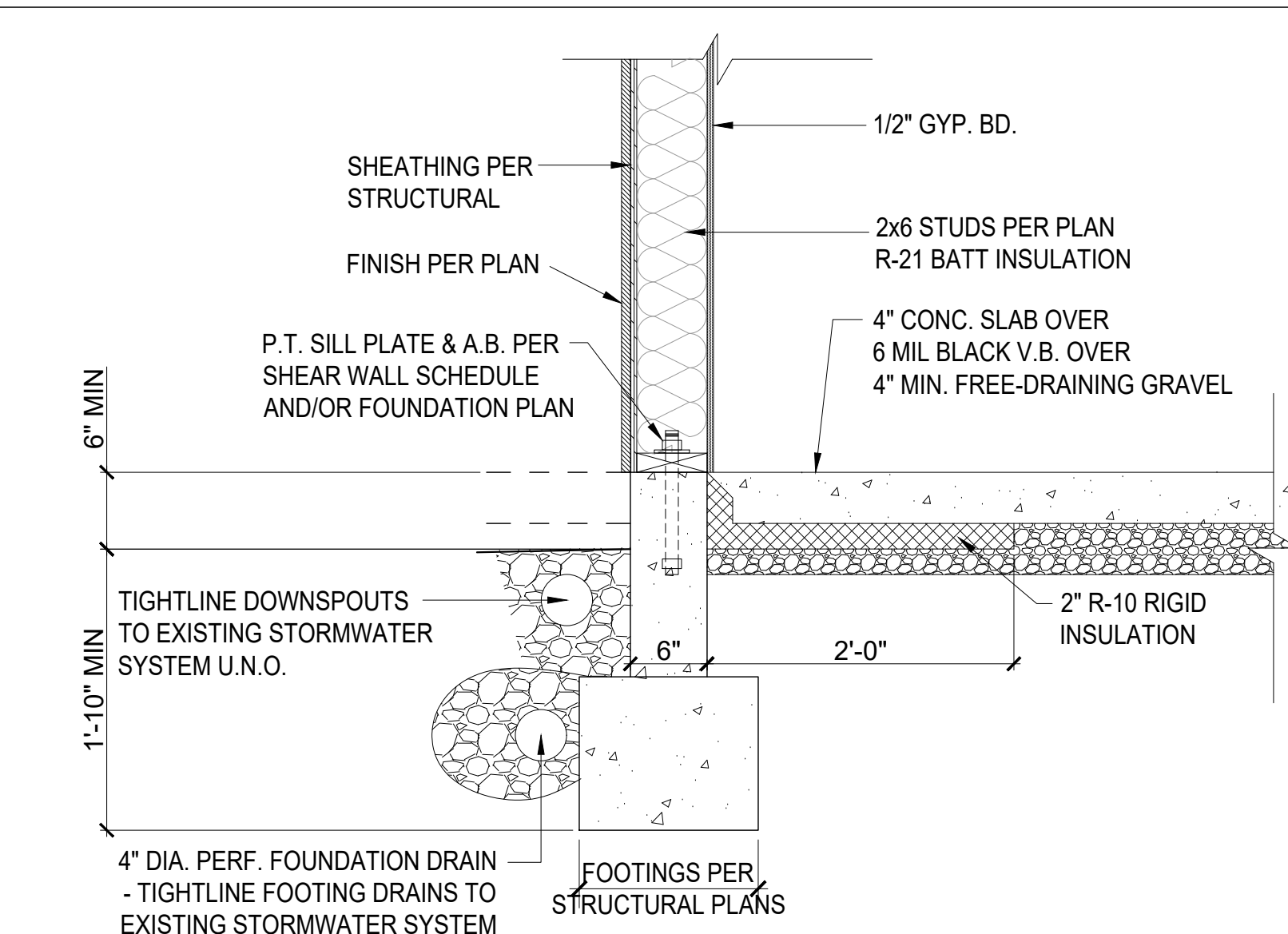
2 DECK FIREPLACE CHASE
SCALE: 3/4" = 1'-0"

14 XXX
SCALE: 1" = 1'-0"

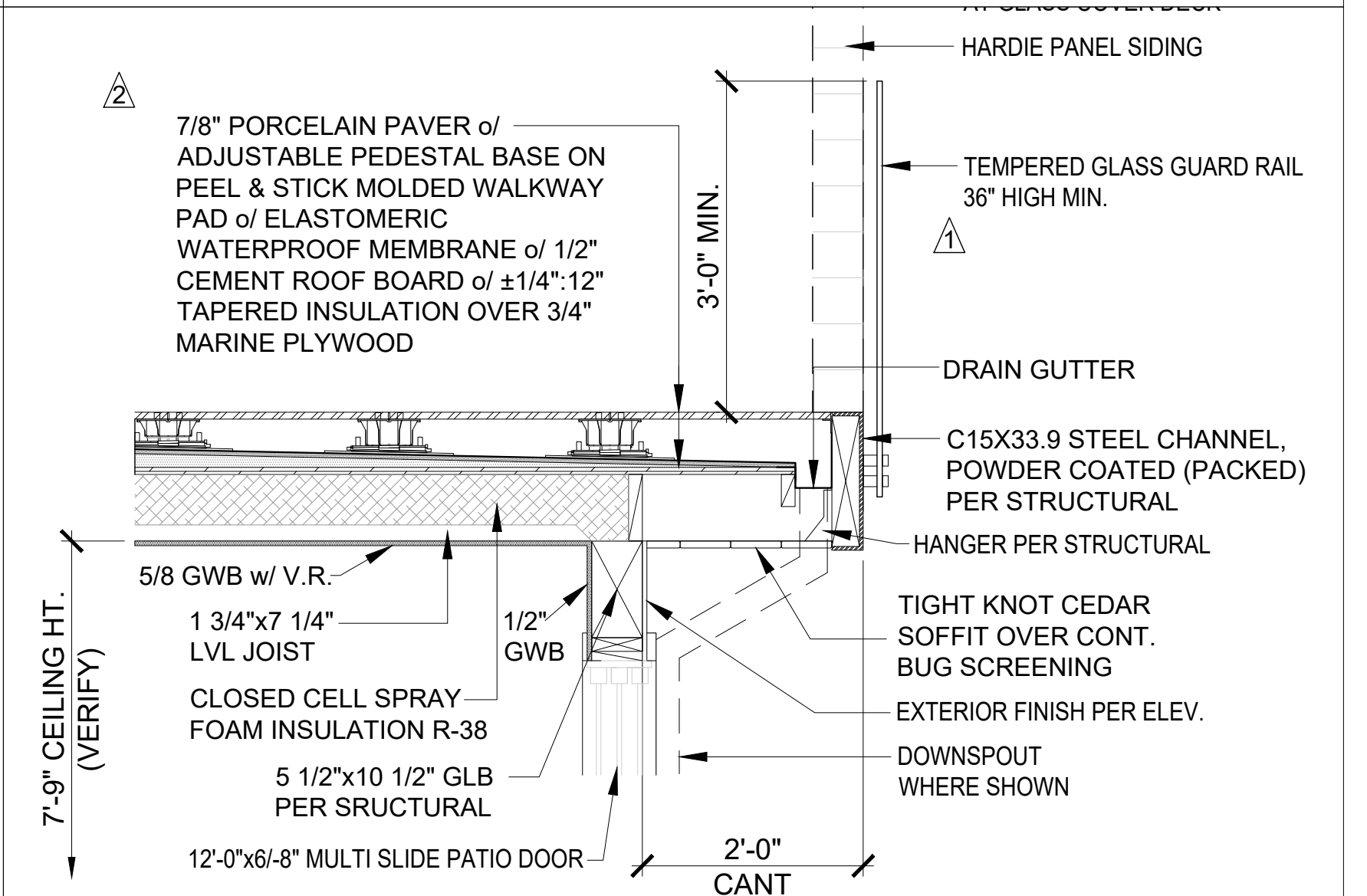
10 DECK PEDESTAL/PAVER ASSEMBLY
SCALE: 1" = 1'-0"

6 FOUNDATION WALL @ NORTH WALL ADDITION
SCALE: 1" = 1'-0"

2 DECK FIREPLACE CHASE
SCALE: 3/4" = 1'-0"



5 FOUNDATION WALL @ WALKOUT
SCALE: 1" = 1'-0"



1 1st FLOOR DECK & RAILING
SCALE: 3/4" = 1'-0"

13 XXX
SCALE: 1" = 1'-0"

9 XXX
SCALE: 3" = 1'-0"

5 FOUNDATION WALL @ WALKOUT
SCALE: 1" = 1'-0"

1 1st FLOOR DECK & RAILING
SCALE: 3/4" = 1'-0"

GENERAL STRUCTURAL NOTES
(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS.)

A. GENERAL

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION FOR NEW CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
4. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 4.1 ALL OPENINGS THROUGH EXISTING CONCRETE WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING AND/OR CORING WHEREVER POSSIBLE. SAW CUT TO TERMINATE AT CORING AT CORNERS OF OPENING. DO NOT OVERCUT CORNERS.
- 4.2 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- 4.3 SMALL ROUND OPENINGS THROUGH CONCRETE SHALL BE ACCOMPLISHED BY CORE DRILLING IF POSSIBLE.
- 4.4 WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWEL BARS SHALL BE DRILLED AND EPOXIED INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING AS NOTED ON PLANS.
5. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL EXTERIOR WALLS, EXISTING TOILET ROOM FLOORS AND WALLS, AREAS SHOWING WATER STAINS, AND ALL WOOD MEMBERS IN THE BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS OF THE NEW CONSTRUCTION UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY BRACING AND SHORING OF THE EXISTING BUILDING(S) IN WHICH PORTIONS OF THE EXISTING STRUCTURE ARE TO BE REMOVED OR MODIFIED. THIS TEMPORARY BRACING AND SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION AND/OR STRUCTURAL MODIFICATIONS ARE COMPLETED. THE CONTRACTOR SHALL DESIGN, PROVIDE MATERIALS FOR AND INSTALL (AND REMOVE IF NECESSARY) SUCH TEMPORARY WORK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK. STRUCTURAL DESIGN OF THE BUILDING IS BASED ON RESISTANCE TO DEAD LOADS, CODE SPECIFIED LATERAL LOADS, AND MAXIMUM EXPECTED SERVICE LOADS. NO CONSIDERATION HAS BEEN GIVEN TO LOADS WHICH WILL BE INDUCED BY ERECTION PROCEDURES. THE CONTRACTOR SHALL VERIFY, TO THE SATISFACTION OF HIM/HERSELF AND THE OWNER, THE ABILITY OF THE STRUCTURE TO RESIST ALL ERECTION LOADS WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIALS USED. WHERE ERECTION LOADS WOULD OVERSTRESS THE STRUCTURE, THE CONTRACTOR SHALL SUBMIT DESIGN DOCUMENTS FOR TEMPORARY BRACING AND STRENGTHENING, INCLUDING FABRICATION AND ERECTION DRAWINGS, TO THE ARCHITECT FOR REVIEW. THESE DOCUMENTS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON. THE CONTRACTOR SHALL PROVIDE, INSTALL AND IF NECESSARY REMOVE SUCH TEMPORARY WORK AS REQUIRED.
8. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
9. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
11. INSPECTIONS: INSPECTIONS OF THE WOOD FRAMING, THE STEEL REBAR AND WOOD FORMS FOR CONCRETE FOOTINGS & FOUNDATIONS, AND CONCRETE SLABS ARE REQUIRED PER IBC SECTION 110.3.
12. SPECIAL INSPECTION: SHALL BE PERFORMED BY A CERTIFIED TESTING AGENCY, DESIGNATED BY THE ARCHITECT OR ENGINEER, AND APPROVED BY THE OWNER. THE SPECIAL INSPECTION AGENCIES SHALL PRODUCE REPORTS AND KEEP RECORDS PER IBC SECTION 1704.2.4.

THE SPECIAL INSPECTION AGENCIES SHALL INSPECT FABRICATORS PER IBC SECTION 1704.2.5. IF FABRICATOR IS REGISTERED & APPROVED TO PERFORM THE WORK WITHOUT SPECIAL INSPECTION PER IBC 1704.2.5.1, FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL PER IBC SECTION 1704.2.5.1. AT COMPLETION OF FABRICATION, THE SPECIAL INSPECTION AGENCIES DUTIES SHALL INCLUDE THE FOLLOWING:

- 12.1 STEEL CONSTRUCTION: VERIFY AND/OR INSPECT STEEL CONSTRUCTION PER QUALITY ASSURANCE INSPECTION REQUIREMENTS OF AISC 360. THIS INCLUDES (BUT IS NOT LIMITED TO) STRUCTURAL STEEL, HIGH-STRENGTH BOLTING, WELDING, AND JOINTS OF STEEL FRAMES.

12.2 PILE & PIER FOUNDATIONS: SPECIAL INSPECTIONS OF PIER OR PILE FOUNDATIONS ARE REQUIRED PER IBC SECTIONS 1705.7 AND 1704.8.

13. SHOP DRAWINGS FOR REINFORCING STEEL, STRUCTURAL STEEL, GLUED LAMINATED MEMBERS, ENGINEERED LUMBER SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

ENGINEER OF RECORD SHALL REVIEW SHOP DRAWINGS FOR DESIGN INTENT ONLY. DIMENSIONS AND QUANTITIES ARE NOT GUARANTEED BY THE ENGINEER OF RECORD, AND THEREFORE, MUST BE VERIFIED BY THE GENERAL CONTRACTOR. DRAWINGS FOR COMPONENTS DESIGNED PRIMARILY BY OTHERS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO CURSORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND A COPY; REPRODUCIBLE WILL BE REVIEWED AND RETURNED. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO REVIEW BY ENGINEER.

14. PRE-MANUFACTURED, PRE-ENGINEERED STRUCTURAL COMPONENTS SHALL BE DESIGNED BASED ON THE CRITERIA PRESENTED IN THE CONTRACT DOCUMENTS. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE, TEMPORARY AND PERMANENT BRACING AND ALL NECESSARY CONNECTIONS, INCLUDING CONNECTIONS TO THE PRIMARY STRUCTURE, NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE PRIMARY STRUCTURE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED PER PARAGRAPH A.13.3 OF THESE NOTES.

15. DEFERRED SUBMITTALS – THE FOLLOWING ITEMS ARE CONSIDERED TO BE DEFERRED SUBMITTALS UNDER SECTION 107.3.4.1 OF THE INTERNATIONAL BUILDING CODE AND MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THESE ITEMS WILL THEN BE REFERRED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON.

- PRE-ENGINEERED GLASS STAIR TREADS, GLASS GUARDRAILS AND GLASS ROOF.

B. DESIGN CRITERIA

1. DESIGN LOADS	
ROOF LIVE LOAD	25 PSF (SNOW _s IS=1.0)
ROOF DEAD LOAD	15 PSF (20 PSF @ CLASS ROOF)
FLOOR LIVE LOAD (RESIDENTIAL)	40 PSF (REDUCIBLE)
FLOOR DEAD LOAD	15 PSF
DECK LIVE LOAD	60 PSF (REDUCIBLE)
DECK DEAD LOAD	20 PSF
WIND (ASCE 7-10)	V _{ULT} = 110 MPH, V ₅₀ = 85 MPH, (3 SEC GUST) ENCLOSED BUILDING, EXPOSURE "C", IW=1.0, KZ1 = 1.0
EARTHQUAKE (ASCE 7-10)	SITE CLASS D OCCUPANCY CATEGORY II (IE = 1.0) SEISMIC DESIGN CATEGORY D SS = 1.3825, SI = 0.5316 SDS=0.9210, SD1 = 0.5316 R=6.5, R = 1.3 V _{ULT} = C _w W = 0.129W EQUIVALENT LATERAL FORCE PROCEDURE LATERAL LOADS ARE RESISTED BY STRUCTURAL WOOD PANEL SHEAR WALLS & DIAPHRAGMS
ALLOWABLE SOIL PRESSURE**	1,500 PSF
LATERAL EARTH PRESSURE**	35 PCF ACTIVE(100 PSF SURCHARGE), 7H SEISMIC 55 PCF AT-REST(14H SEISMIC) 250 PSF PASSIVE 0.35 COEFFICIENT OF FRICTION

FOR SNOW DRIFT CALCULATIONS, FC = 15 PSF.
**SOILS REPORT REFERENCE: GEOTECHNICAL REPORT, PROPOSED ADDITION AND NEW GARAGE, 9820 SE 35TH PL, MERCER ISLAND, WA, PREPARED BY GEO GROUP NORTHWEST INC, DATED AUGUST 20, 2020, REPORT #G-5207. GEO GROUP NORTHWEST DAILY FIELD REPORT DATED 02/08/2022.

C. FOUNDATION

1. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR UNDER THE OBSERVATION AND DIRECTION OF THE GEOTECHNICAL ENGINEER.
2. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. MATERIAL TO BE COMPACTED TO 95% MINIMUM OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
3. FOOTINGS MAY BE POURED IN NEAT EXCAVATIONS PROVIDED SIZE IS INCREASED 3" AT EACH INTERFACE WITH SOIL.
4. ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.
5. ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE REMOVED.
6. CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN EXCAVATIONS.
7. BACKFILL BEHIND ALL WALLS WITH WELL DRAINING, GRANULAR FILL MATERIAL, AND PROVIDE PERFORATED PIPE DRAINS AS DESCRIBED IN THE SOILS REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB, OR TEMPORARY BRACING. ALL FOOTINGS SHALL BE CENTERED BELOW CENTERLINE OF COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

D. PILE PILE FOUNDATION

1. PILE PILE TO BE 2" DIAMETER SCHEDULE GALVANIZED 80 PIPE. PILE PILE DESIGN CAPACITY IS 6 KIPS
2. PILE PILES ARE TO BE DRIVEN USING A 90-POUND OR 140-POUND PNEUMATIC JACKHAMMER UNTIL REFUSAL. REFUSAL IS DEFINED AS A PENETRATION RESISTANCE OF LESS THAN 1 INCH OF PENETRATION PER MINUTE OF SUSTAINED DRIVING.
3. PILE PILE TO EXTEND 6" MINIMUM INTO PILE CAP. PROVIDE COMPRESSION FIT CAP.
4. PIPE PILE TO BE SPLICED WITH COMPRESSION FIT SLEEVED COUPLER OR COMPLETE PENETRATION WELD.
5. THE GEOTECHNICAL ENGINEER OF RECORD OR HIS/HER REPRESENTATIVE SHALL PROVIDE FULL-TIME OBSERVATION OF PILE INSTALLATION AND TESTING TO VERIFY THE DRIVING REFUSAL CRITERIA.
6. A MINIMUM OF 3% OF THE PILES (1 MINIMUM AND UP TO 5 PILES MAXIMUM) SHOULD BE LOAD TESTED TO VERIFY DESIGN LOAD CAPACITIES. ALL LOAD TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN ASTM D1143. THE MAXIMUM TEST LOAD SHALL BE 2X THE DESIGN LOAD. TEST LOAD = 12 KIPS FOR 2 INCH PILE.

E. CONCRETE

1. ULTIMATE STRENGTH DESIGN PER INTERNATIONAL BUILDING CODE AND ACI 318-14.
2. CONCRETE SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS
 - 2.1 CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF F'c = 3,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS, EXPOSURE CLASS F1, SO, W0 & CO. DESIGN IS BASED ON F'c = 2,500 PSI.
 - 2.2 THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE DESIGN MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE CONCRETE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUSTAINING STRENGTH DATA IN ACCORDANCE WITH ACI 318, CHAPTERS 19 AND 26.

ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES WHILE CURING AND ALL CONCRETE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ACI 318. TOTAL AIR CONTENT SHALL BE 6% IN ACCORDANCE WITH TABLE 19.3.3.1.

NO ADMIXTURES, OTHER THAN FOR AIR-ENTRAINMENT AS NOTED ABOVE, SHALL BE USED WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

4. REINFORCING
 - 4.1 REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, Fy = 60,000 PSI. REINFORCEMENT FOR COLUMNS, WALLS, WALL TO FOOTING DOWELS, AND WOOD SHEAR WALL HOLD DOWNS TO BE A706 UNLESS CERTIFIED MILL CERTIFICATES CONFORMING TO ACI 318 20.2.2.5 ARE PROVIDED.

WELDED WIRE REINFORCEMENT: ASTM A82 AND ASTM A185, SPLICE WITH AT LEAST ONE FULL MESH. PLACE AT MID-DEPTH, OR SLIGHTLY ABOVE, OF SLAB. MATERIAL TO BE SUPPLIED IN FLAT SHEETS.

5. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318 (LATEST EDITION). LAP ALL CONTINUOUS REINFORCEMENT PER NOTE D.6. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS. LAP CORNER BARS PER NOTE D.6. LAP ADJACENT MATS OF WELDED WIRE REINFORCEMENT A MINIMUM OF 8" AT SIDES AND ENDS. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

6. REINFORCING STEEL LAPS AND EMBEDMENT SHALL BE AS NOTED BELOW, UNLESS NOTED OTHERWISE:

DEVELOPMENT LENGTH – COMPRESSION	20 BAR DIAM. – 24" MINIMUM
DEVELOPMENT LENGTH – TENSION	48 BAR DIAM. – (#11 BAR – 54 BAR DIA.)
DEVELOPMENT LENGTH – TENSION, TOP BAR*	64 BAR DIAM. – (#11 BAR – 70 BAR DIA.)

LAP SPLICE LENGTH – COMPRESSION	30 BAR DIAM. – 24" MINIMUM
LAP SPLICE LENGTH – TENSION	64 BAR DIAM. – (#11 BAR – 70 BAR DIAM.)
LAP SPLICE LENGTH – TENSION, TOP BAR*	80 BAR DIAM. – (#11 BAR – 90 BAR DIAM.)

*TOP BARS ARE HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.

ALL HOOKS SHALL BE "STANDARD" IN ACCORDANCE WITH ACI 318. REINFORCING SHALL NOT BE TACK WELDED. DO NOT WELD GRADE 60 REINFORCING.

7. HIGH STRENGTH THREADED RODS (STRESSED AND NON-STRESSED) SHALL BE DYWIDAG THREADBARS WITH APPROPRIATE ANCHORAGE PLATES, NUTS, AND COUPLERS AS MANUFACTURED BY DICKEHOFF AND WINDMANN, INC., IN CONFORMANCE WITH ASTM A772 (FPU = 150,000).

8. MECHANICAL SPLICING OF REINFORCING BARS, WHERE INDICATED ON THE DRAWINGS, SHALL BE BY AN INTERNATIONAL CODE COUNSEL (ICC) APPROVED SYSTEM (SUCH AS LENTON, FOX-HOWLET, ETC.) AND SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE BARS. SPLICE LOCATIONS OF ALTERNATE BARS SHALL BE OFFSET BY A DISTANCE WHICH CONFORMS TO THE ICC REPORT OF THE SPLICE USED.

9. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNIFORMED SURFACES, EARTH FACE	3"
FORMED SURFACES EXPOSED TO EARTH (I.E. WALLS BELOW GROUND) OR WEATHER (#6 BARS OR LARGER)	2"
(#5 BARS OR SMALLER)	1-1/2"
COLUMN TIES OR SPIRALS AND BEAM STIRRUPS	1-1/2"
JOISTS, SLABS AND WALLS (INTERIOR FACE)	3/4"

10. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT SHALL BE NON-SHRINK, CEMENT-BASED AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF F'c = 5000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109.

11. ADHESIVE ANCHOR SYSTEM SHALL BE SET-XP OR SET-3G EPOXY BY SIMPSON STRONG-TIE, HIT-HY 200-A OR HIT-RE 500 V3 BY HILTI, AC208+ BY DEWALT, OR APPROVED EQUAL.
12. ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (SEE WOOD SECTION).

F. STRUCTURAL STEEL

1. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE AISC 360 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS; LATEST EDITION, PLUS ALL REFERENCED CODES.

2. ALL "W" (WIDE FLANGE BEAM AND COLUMN) SHAPES SHALL CONFORM TO ASTM A992. HP SHAPES SHALL CONFORM TO ASTM A572, Fy = 50 KSI. PLATES, BARS AND OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, Fy = 36 KSI, UNLESS CALLED OUT OTHERWISE ON PLAN. STEEL PIPE SHALL BE SCHEDULE 40 CONFORMING TO ASTM A53, TYPE E OR S, GRADE B, Fy = 35 KSI. RECTANGULAR HSS SHALL CONFORM TO ASTM A500, GRADE B, Fy = 46 KSI, ROUND HSS SHALL CONFORM TO ASTM A500, GRADE B, Fy = 42 KSI.

3. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND HAVE A WELDED HEAD. EMBED ANCHOR BOLTS A MINIMUM OF 7" INTO CONCRETE.

4. ALL CONNECTION BOLTS AT STEEL/STEEL CONNECTIONS SHALL BE ASTM A325 OR ASTM A490 AND SHALL BE INSTALLED, TIGHTENED, AND INSPECTED IN ACCORDANCE WITH THE AISC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A 490 BOLTS. THE CRITERIA FOR SNUG-TIGHT CONNECTIONS SHALL APPLY TO ALL CONNECTIONS UNLESS SPECIFICALLY NOTED AS SLIP-CRITICAL ON THE STRUCTURAL DRAWINGS. WHERE CONNECTIONS ARE NOTED AS SLIP-CRITICAL, THE CONTRACTOR SHALL INSTALL PER CRITERIA FOR SLIP-CRITICAL CONNECTIONS. SLIP-CRITICAL CONNECTIONS SHALL USE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS NOTED OTHERWISE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE SELECTION OF OPTIONAL DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE, BUT ARE NOT LIMITED TO: ERECTION ANGLES, LIFT HOLES, AND OTHER AIDS; WELDING PROCEDURES; REQUIRED ROOF OPENINGS; ROOF FACE DIMENSIONS; GROOVE ANGLES; BACKING BARS; COPE; SURFACE ROUGHNESS VALUES; AND TAPERS OF UNEQUAL PARTS.

6. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS BY SIMPSON STRONG-TIE, "KNIK BOLT T2" WEDGE ANCHORS BY HILTI, POWER-STD+ S02, OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT AND INSERT INSTALLATION. SUBMIT MANUFACTURER'S DATA SHEETS AND ICC REPORTS FOR ENGINEER'S REVIEW.

7. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. WELDS, UNLESS OTHERWISE NOTED, SHALL BE 3/16" CONTINUOUS FILLET WELDS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. WELDING OF REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTION.

ALL WELDS SHALL BE VISUALLY INSPECTED AT THE SITE BY A QUALIFIED INSPECTOR.

ALL COMPLETE PENETRATION WELDS SHALL BE ULTRASONICALLY TESTED AT THE PLANT OR SITE BY A QUALIFIED INSPECTOR.

FIELD WELD ARROWS ARE SHOWN ONLY WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.

G. CARPENTRY

1. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1. EACH MEMBER SHALL BEAR AN A1C OR APA EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A1C OR APA EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, FB = 2,400 PSI, FV = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, FB = 2,400 PSI, FV = 240 PSI. CAMBER ALL GULIAM BEAMS TO 2,000" RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.

2. FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WOLB STANDARD GRADING RULES FOR WEST COAST LUMBER, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

MEMBER	SIZE	SPECIES	GRADE	MIN. BASIC DESIGN STRESS
JOISTS AND RAFTERS:	2X, 3X 4X	HEM.FIR	#2	FB = 850 PSI FB = 850 PSI
BEAMS AND STRINGERS:	6X AND LARGER	DOUG.FIR	#1	FB = 1350 PSI
POSTS AND TIMBERS:	6X6, 6X8	DOUG.FIR	#1	FC = 1000 PSI FB = 1200 PSI
PLATES AT SHEAR WALLS AND BEARING WALLS:				
STUDS, PLATES, & MISC. LIGHT FRAMING:		HEM.FIR	#2	FB = 850 PSI

ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

3. MANUFACTURED LUMBER SHALL BE AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL. REQUESTS FOR APPROVAL AS EQUAL WILL REQUIRE SUBMITTAL OF ICC REPORT EQUIVALENT TO ESR-1387 FOR LAMINATED STRAND LUMBER (LSL), LAMINATED VENEER LUMBER (LVL), OR PARALLEL STRAND LUMBER (PSL). THE MINIMUM ALLOWABLE DESIGN VALUES ARE AS FOLLOWS:

LSL – FB = 2,250; FV = 400 PSI; E = 1,500,000 PSI
LVL – FB = 2,600; FV = 285 PSI; E = 1,800,000 PSI
PSL – FB = 2,900; FV = 290 PSI; E = 2,000,000 PSI

4. SHEATHING SHALL BE APA PERFORMANCE RATED PANELS PER APA "PLYWOOD DESIGN SPECIFICATION", INCLUDING APPLICABLE SUPPLEMENTS, UNLESS NOTED OTHERWISE. PLYWOOD OR ORIENTED-STRAND BOARD (OSB) PANELS SHALL BE GRADED C0 AND ALSO CONFORM TO DOC P5-1 & P5-2. ALL PANELS SHALL BE IDENTIFIED AS EXPOSURE 1 UNLESS NOTED OTHERWISE. PANEL RATING TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:

ROOF:	19/32" (OR 5/8") THICK, 40/20
WALLS:	15/32" THICK, 32/16, OR 1/2" THICK, 24/0
FLOORS:	23/32" (OR 3/4") THICK, TONGUE & GROOVE, (48/24)

UNLESS NOTED OTHERWISE ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6"OC TO FRAMED PANEL EDGES AND OVER STUD WALLS SHOWN ON PLANS AND @ 12"OC (10"OC AT FLOORS) TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED SHEATHING EDGE CLIPS @ 16"OC AT UNLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS AND EDGE CLIPS. PROVIDE SOLID BLOCKING AT ALL EDGES ONLY WHERE NOTED ON PLANS. TOENAIL BLOCKING TO SUPPORTS WITH 16D NAILS, UNLESS NOTED OTHERWISE.

UNLESS NOTED OTHERWISE ON THE PLANS, WALL SHEATHING MAY BE LAID UP HORIZONTALLY OR VERTICALLY, UNSUPPORTED EDGES SHALL BE BLOCKED AND ALL EDGES SHALL BE NAILED WITH 8D @ 6"OC, NAIL WITH 8D @ 12"OC AT INTERMEDIATE SUPPORTS. NAIL SHEAR WALL SHEATHING TO ALL HOLDOWN STUDS USING EDGE NAIL SPACING WHEN HOLDOWN STUD DOES NOT OCCUR AT PANEL EDGES.

SHEATHING NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING.

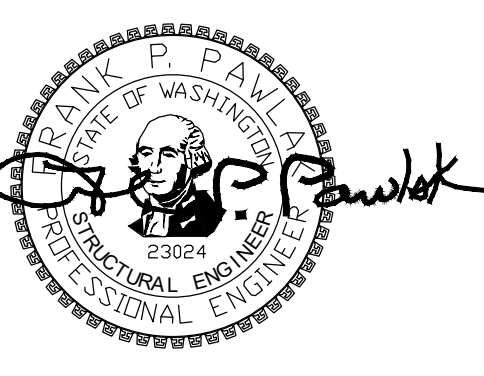
5. INTERIOR WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH SODIUM BORATE (SBX). WOOD MEMBERS EXPOSED TO WEATHER (UNPAINTED) OR IN DIRECT CONTACT WITH SOIL SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUATERNARY (ACQ). NOTE THAT ACQ IS EXTREMELY CORROSIVE TO METALS. SBX IS NONTOXIC TO THE ENVIRONMENT. PROVIDE TWO LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY. ALL METAL CONNECTORS IN CONTACT WITH "ACQ" PRESSURE-TREATED LUMBER OR FIRE-RETARDANT-TREATED LUMBER SHALL BE TYPE 304 OR 316 STAINLESS STEEL. THIS INCLUDES WASHERS, SCREWS, NAILS, HANGERS, AND ANY OTHER MISCELLANEOUS LT. GAGE METAL CONNECTORS. WHERE ACQ LUMBER IS MISTAKENLY USED OR FOR FIRE-RETARDANT-TREATED LUMBER USED IN INTERIOR CONDITIONS, ASTM A 653, TYPE G185 ("HOT-DIP" GALVANIZED TO 1.85 OUNCES PER SQUARE FOOT) METAL CONNECTORS MAY BE USED IN LIEU OF STAINLESS STEEL. METAL CONNECTORS 1/2" THICK OR GREATER NEED NOT BE GALVANIZED FOR INTERIOR USE, NOR DO THEY NEED TO BE STAINLESS STEEL FOR EXTERIOR USE. METAL CONNECTORS 1/2" THICK PLUS MUST BE GALVANIZED FOR EXTERIOR USE, UNLESS SPECIFIED OTHERWISE BY THE ARCHITECT.

6. WOOD FASTENER NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - 6.1 NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF CONNECTORS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, DUBLIN, CALIFORNIA. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. SUBMIT MANUFACTURER'S CATALOG AND ICC REPORTS TO ARCHITECT AND ENGINEER FOR REVIEW WHEN REQUESTING SUBSTITUTIONS. ALL SPECIFIED FASTENERS MUST BE USED AND PROPER INSTALLATION PROCEDURES MUST BE OBSERVED IN ORDER TO OBTAIN ICC APPROVED LOAD CAPACITIES. VERIFY THAT THE DIMENSIONS OF THE SUPPORTING MEMBER ARE SUFFICIENT TO RECEIVE THE SPECIFIED FASTENERS.
 - 6.2 NAILS SHALL BE MANUFACTURED IN CANADA OR THE UNITED STATES IN SIZES AND TYPES AS FOLLOWS, UNLESS NOTED OTHERWISE:

PNEUMATIC NAILING – PLAN SHANK, COATED OR GALVANIZED
80 = 1.31 DIAMETER X 2-1/2" MINIMUM LENGTH
100 = 1.48 DIAMETER X 3" MINIMUM LENGTH
160 = .162 DIAMETER X 3-1/4" MINIMUM LENGTH
200 = .192 DIAMETER X 4" MINIMUM LENGTH
 - HAND NAILING – SINKERS, COATED
| 80 = 11-1/2 GAGE X 2-3/8" |
| 100 = 11 GAGE X 2-7/8" |
| 160 = 9 GAGE X 3-1/4" |

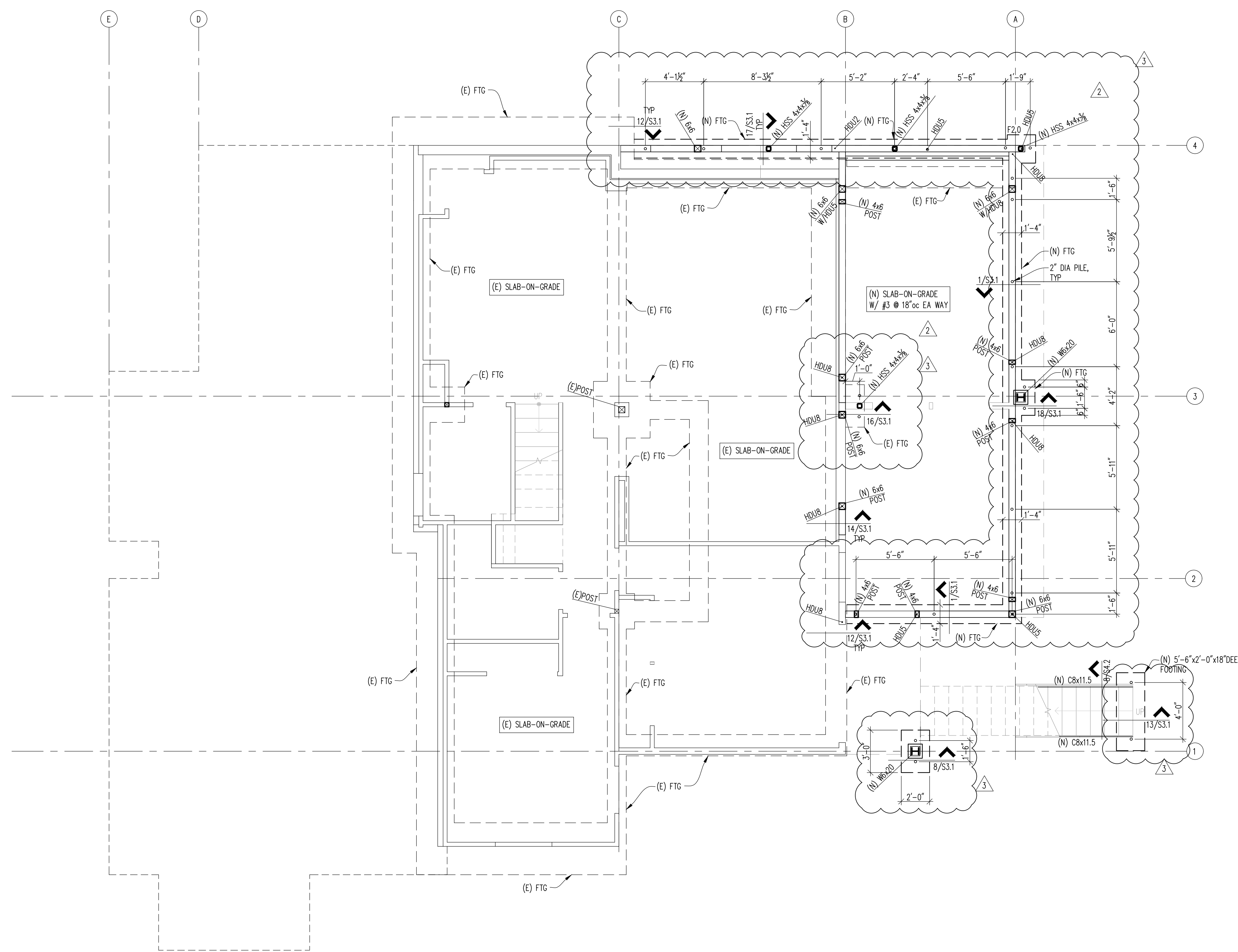
7. WOOD FRAMING NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
 - 7.1 ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
 - 7.2 WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16"OC AT INTERIOR WALLS AND 2X6 STUDS @ 16"OC AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. UNLESS NOTED OTHERWISE A (2) 2X6 HEADER SHALL BE PROVIDED OVER ALL OPENINGS IN 2X4 STUD WALLS AND A (3) 2X6 HEADER OVER ALL OPENINGS IN 2X6 WALLS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORT BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 8'-0" IN HEIGHT.
 - 7.3 FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE BRIDGING @ 8'-0"OC AND SOLID BLOCKING AT ALL BEARING POINTS. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

TOENAIL JOISTS TO BEARING SUPPORTS WITH 16D NAILS. UNLESS NOTED OTHERWISE, ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON "LU" SERIES METAL JOIST HANGERS TO SUIT JOIST SIZE. ALL DOUBLE JOISTS, BEAMS, AND SLOPED AND/OR SKEWED JOISTS SHALL BE CONNECTED TO FLUSH MEMBERS WITH U-SERIES JOIST HANGERS UNLESS NOTED OTHERWISE. SKEW AND SLOPE ALL CONNECTORS AS REQUIRED. TRACE-NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16D SKIKES @



PROJECT

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 ACHIN & MARY CHEN
 9820 SE 35TH PL
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- NOTES:
 1. FXX DENOTES FOOTING SIZE. FOOTING SCHEDULE:
 F2.0 IS 2'-0"x2'-0"x12" DEEP W/ (3) #3 EA WAY BOT
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE ARCH FOR INSULATION BELOW SLAB-ON-GRADE, IF APPLICABLE.
 4. WALLS SHOWN ARE BASEMENT LEVEL WALLS.
 5. SEE SHEETS S3.X FOR CONCRETE DETAILS.
 6. H indicates HOLD-DOWN TYPE, SEE 10/S4.1 FOR HOLD-DOWN SCHEDULE.
 7. SEE SHEET S2.2 FOR BASEMENT SHEARWALL LOCATIONS.

REVISIONS	
NO.	DATE
	11-4-20 PERMIT
△ 1	4/2/21 PERMIT RESPONSE
△ 2	2/4/22 REVISIONS
△ 3	2/18/22 REVISIONS

11/4/20	20-129
DATE	JOB #
AM	FPP
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

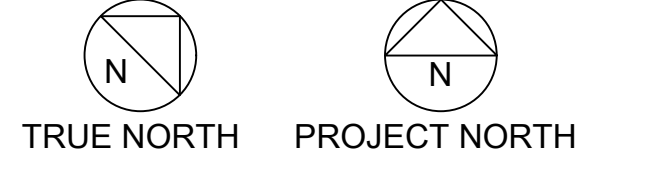
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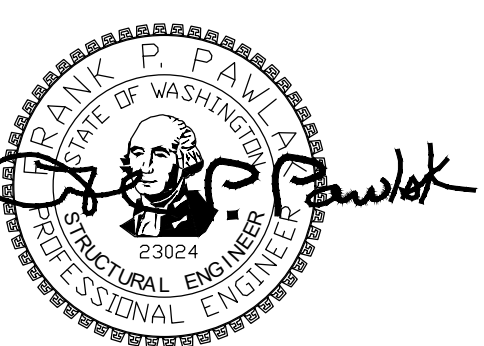
SHEET TITLE

FOUNDATION PLAN

SHEET NO.

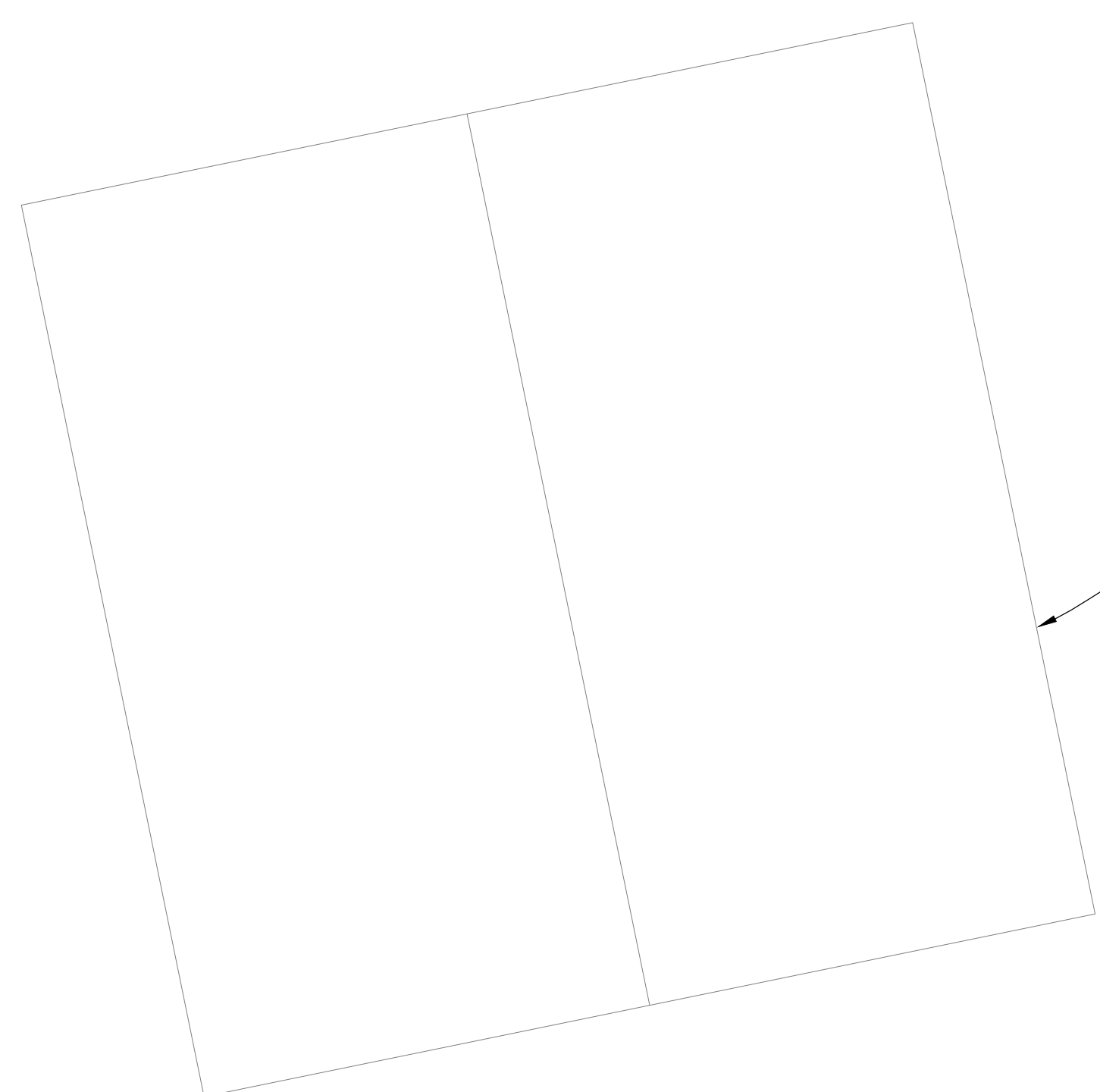
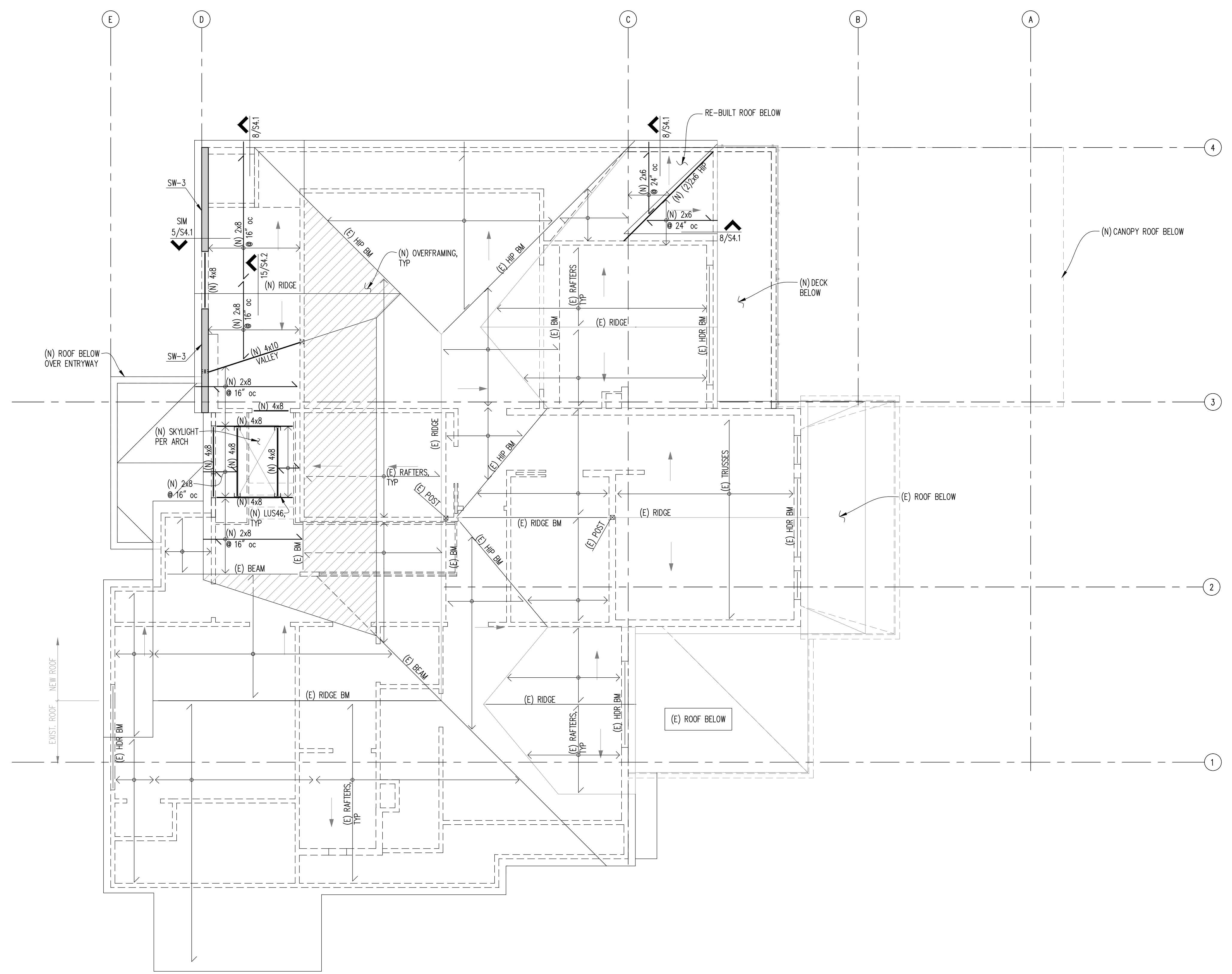
S2.1





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- NOTES:
1. WALLS SHOWN ARE ON LEVEL BELOW (SECOND FLOOR).
 2. SEE ARCH FOR DIMENSIONS.
 3. SEE SHEET SA-X FOR TYPICAL WOOD FRAMING DETAILS.
 4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
 5. ALL HEADERS TO BE 4x8 UNDO ON PLANS.
 6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/54.1 FOR SW SCHEDULE.
 7. [Symbol] INDICATES SHEAR WALLS.
 8. [Symbol] INDICATES INTERMEDIATE BEARING POINT.

REVISIONS		
NO.	DATE	DESCRIPTION
	11-4-20	PERMIT
1	4/2/21	PERMIT RESPONSE
2	2/4/22	REVISIONS
3	2/18/22	REVISIONS

11/4/20	20-129
DATE	JOB #
AM	FPP
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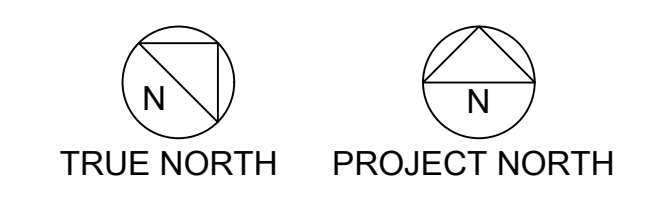
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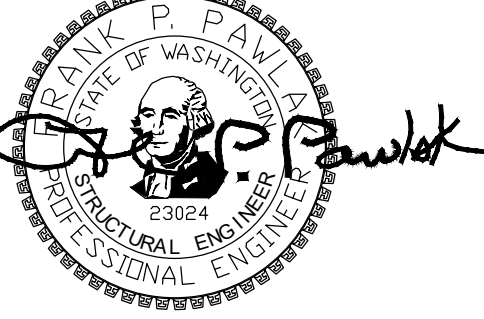
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ROOF
 FRAMING
 PLAN

SHEET NO.

S2.4





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NO.	DATE
	11-4-20 PERMIT
1	4/2/21 PERMIT RESPONSE
2	2/4/22 REVISIONS
3	2/18/22 REVISIONS

11/4/20	20-129
DATE	JOB #
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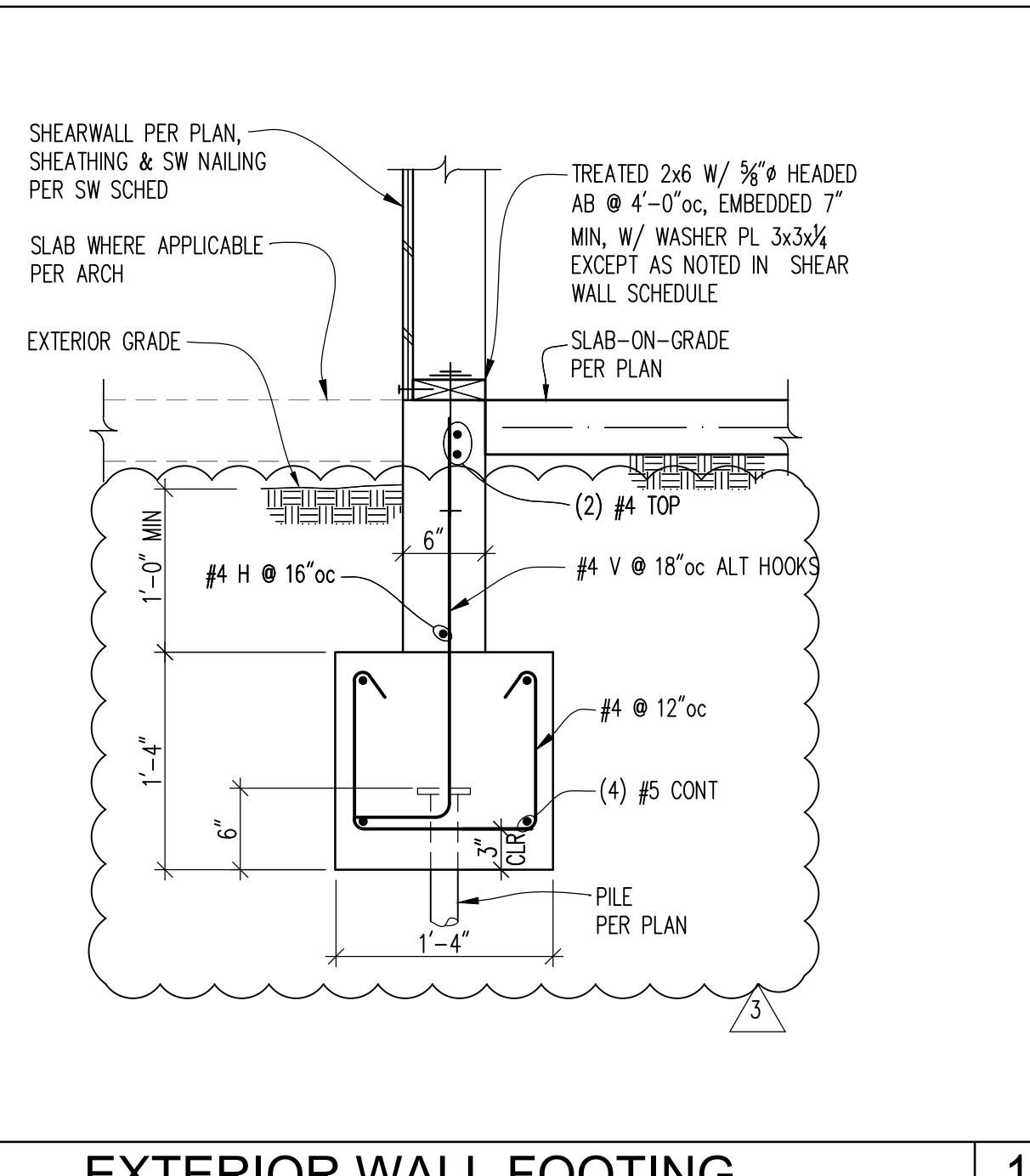
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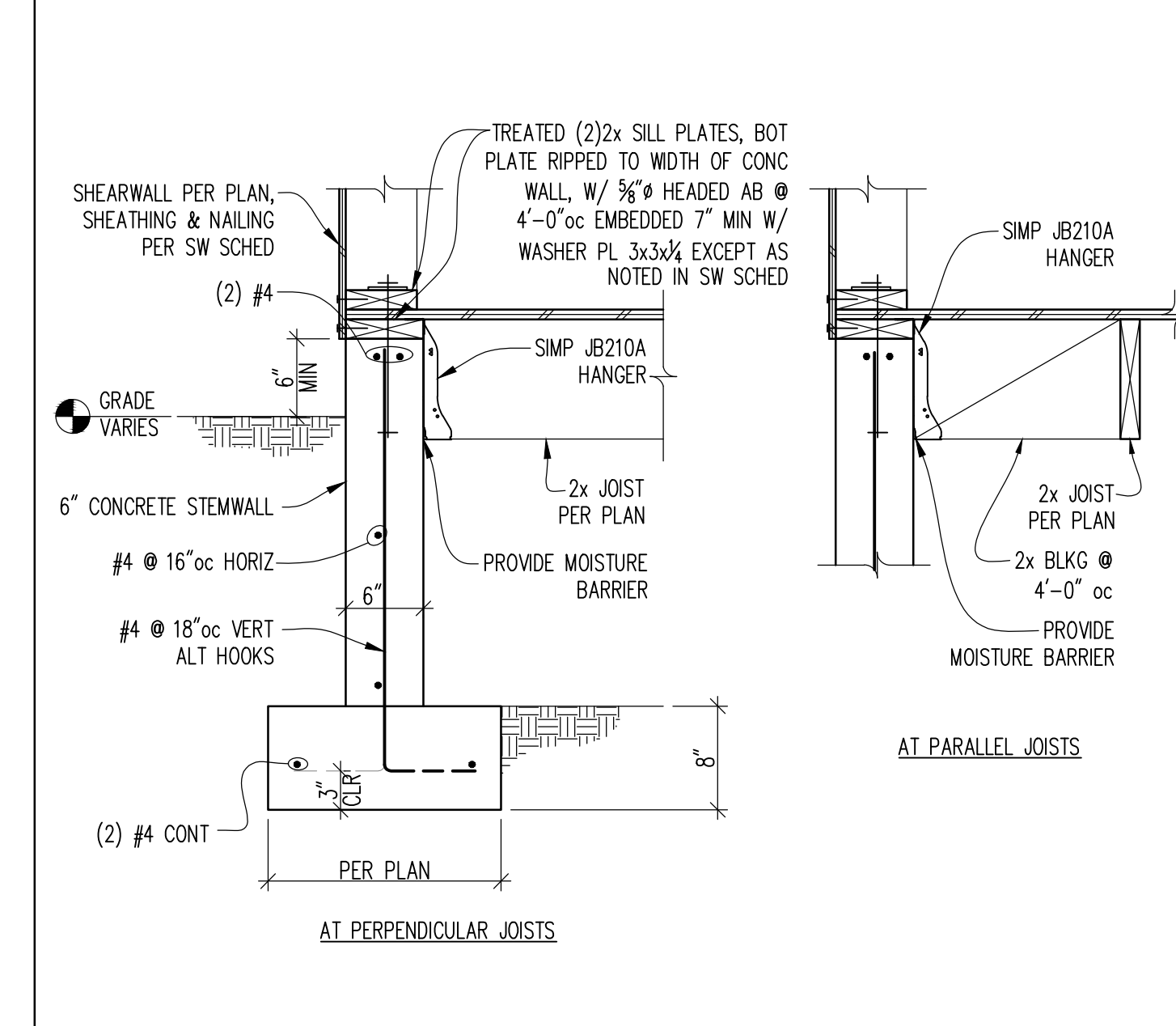
CONCRETE
DETAILS

SHEET NO.

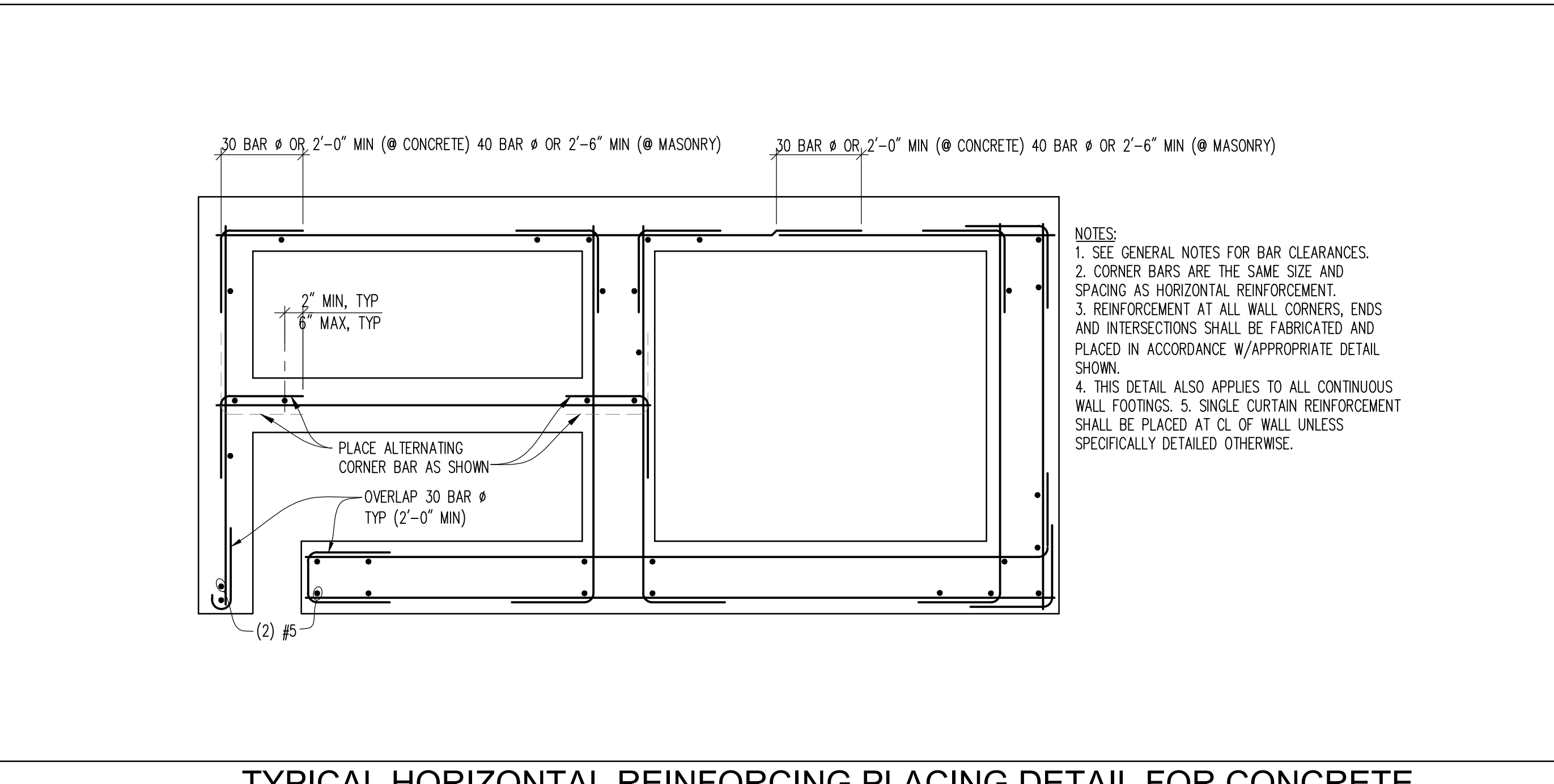
S3.1



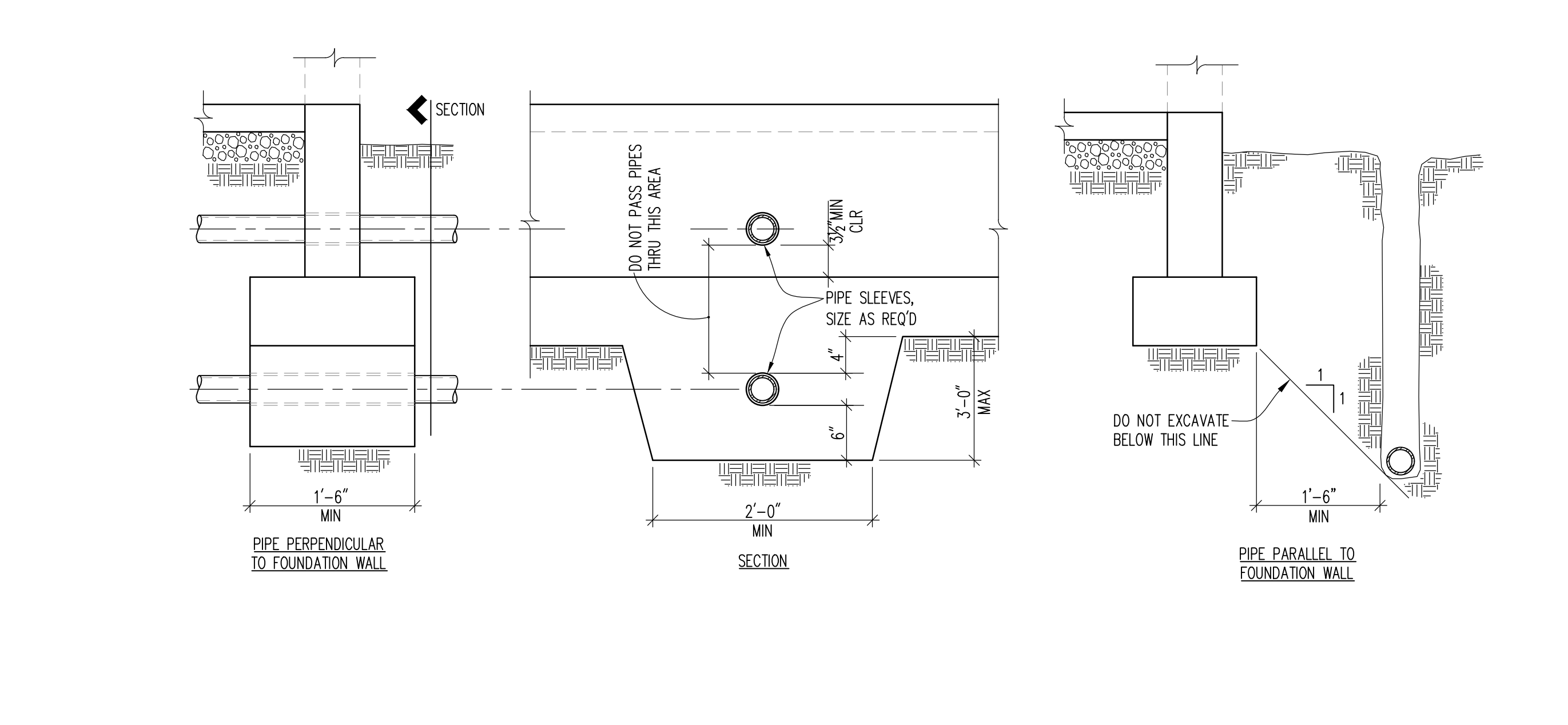
EXTERIOR WALL FOOTING 1



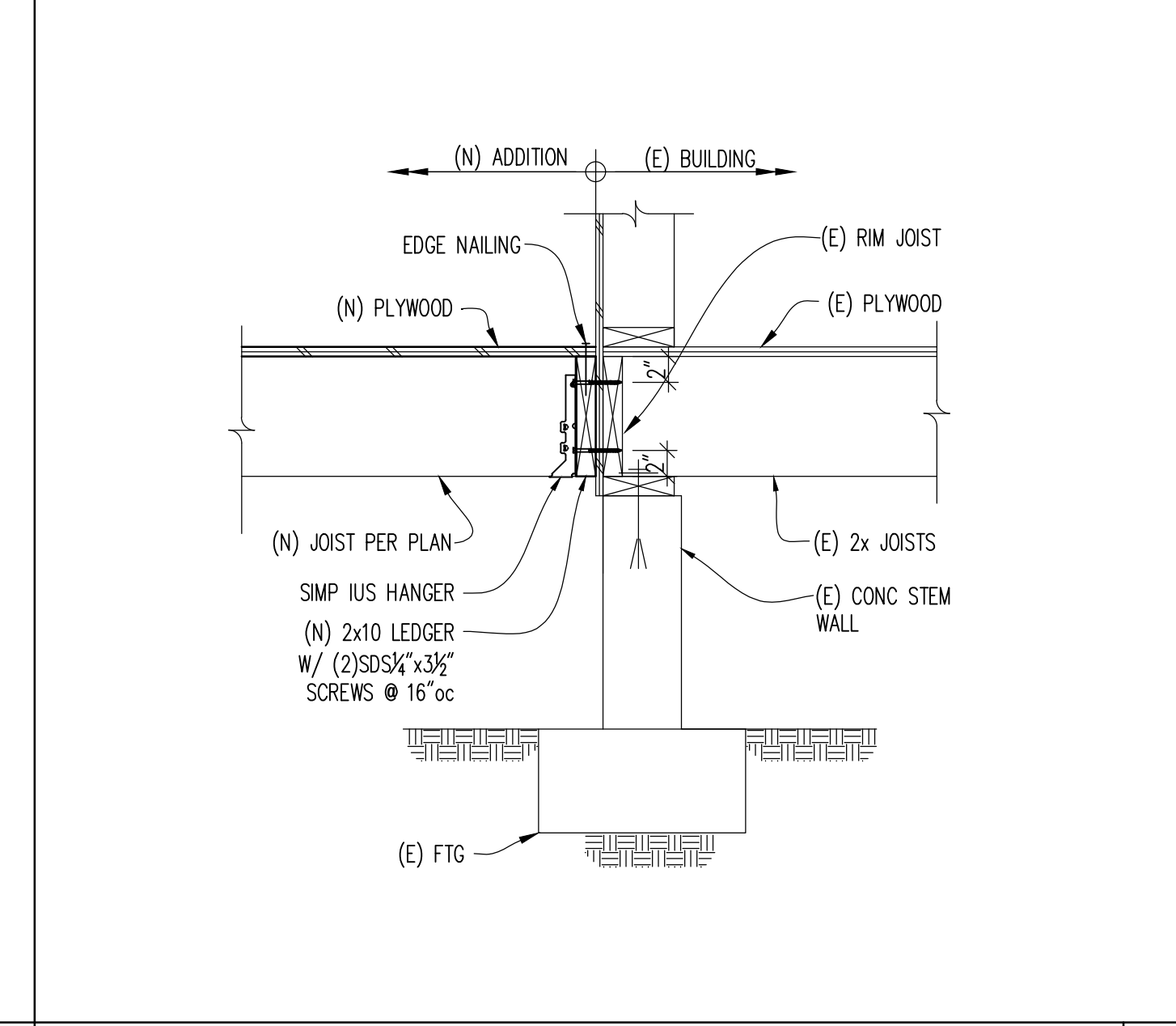
EXTERIOR WALL FOOTING 2



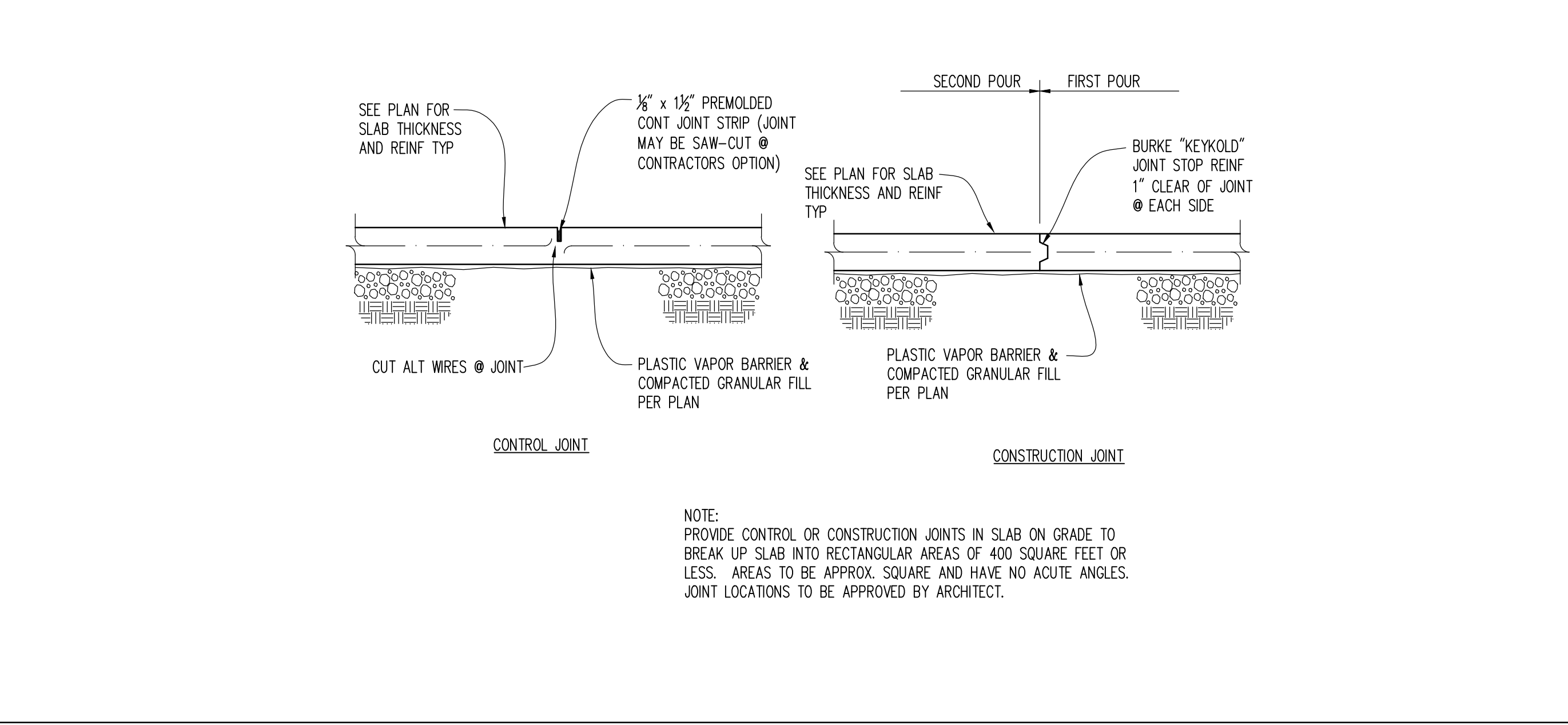
TYPICAL HORIZONTAL REINFORCING PLACING DETAIL FOR CONCRETE 5



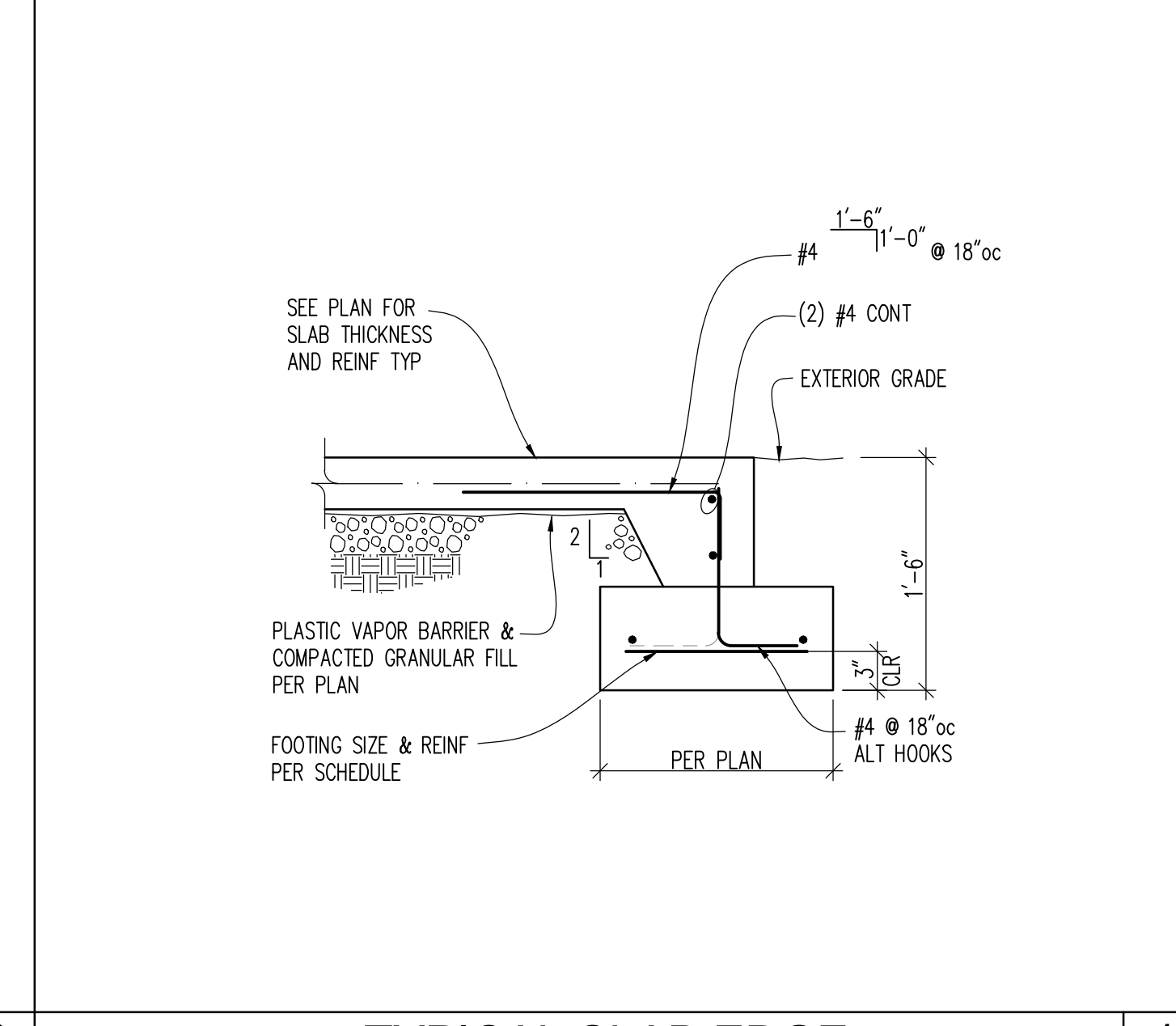
PIPE AND TRENCH LOCATIONS 6



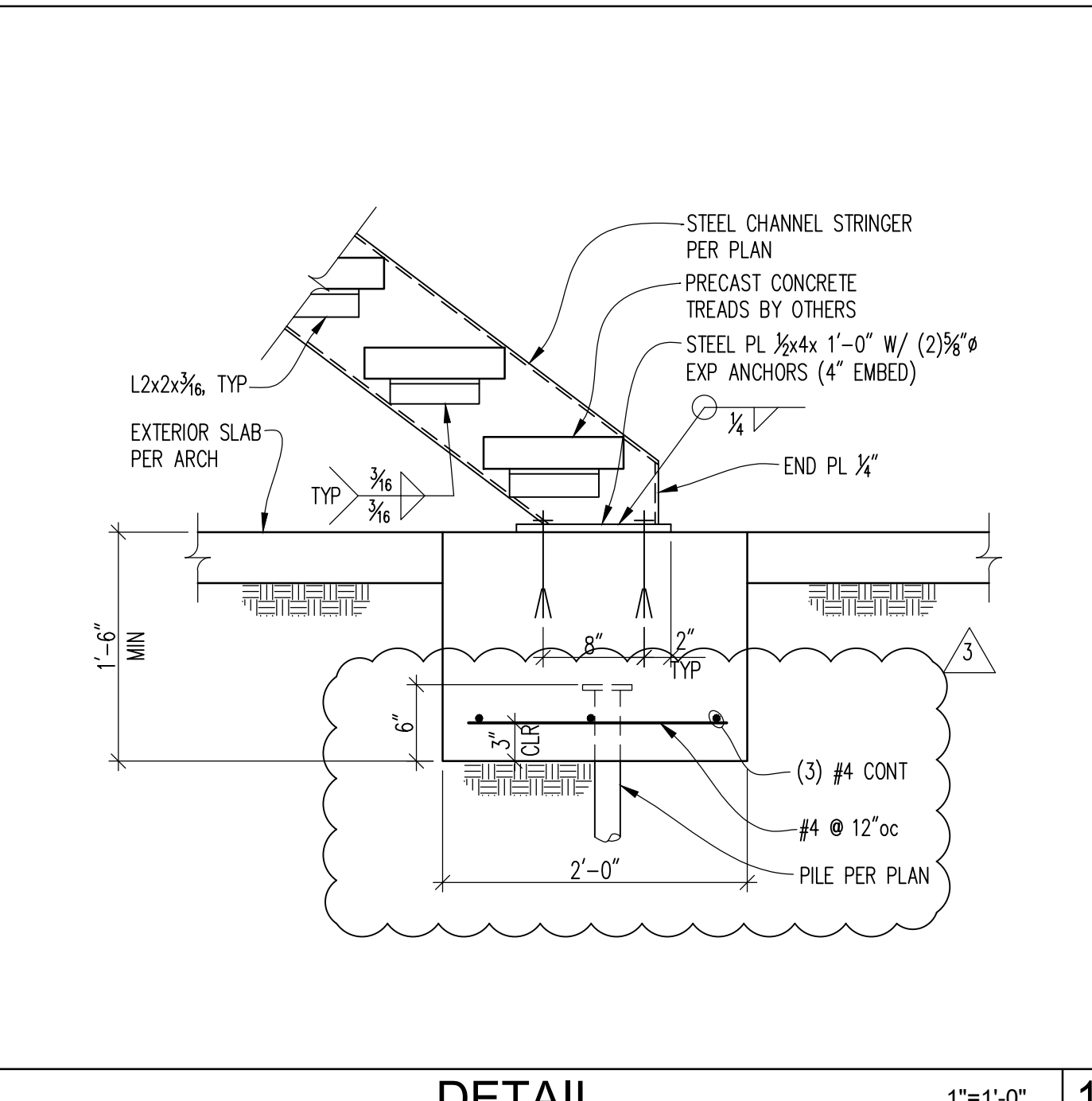
FOOTING DETAIL 3



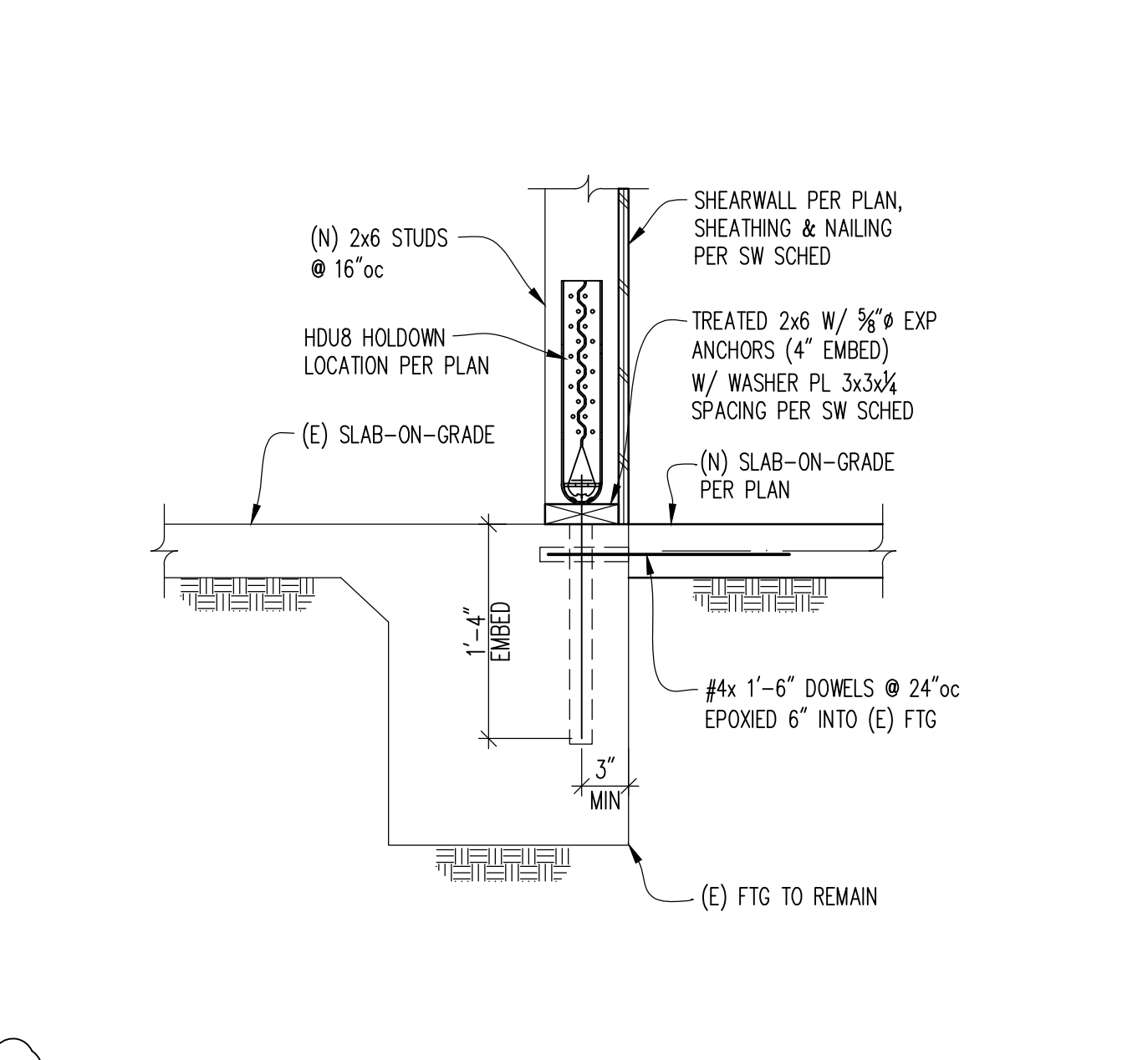
TYPICAL SLAB JOINTS 7



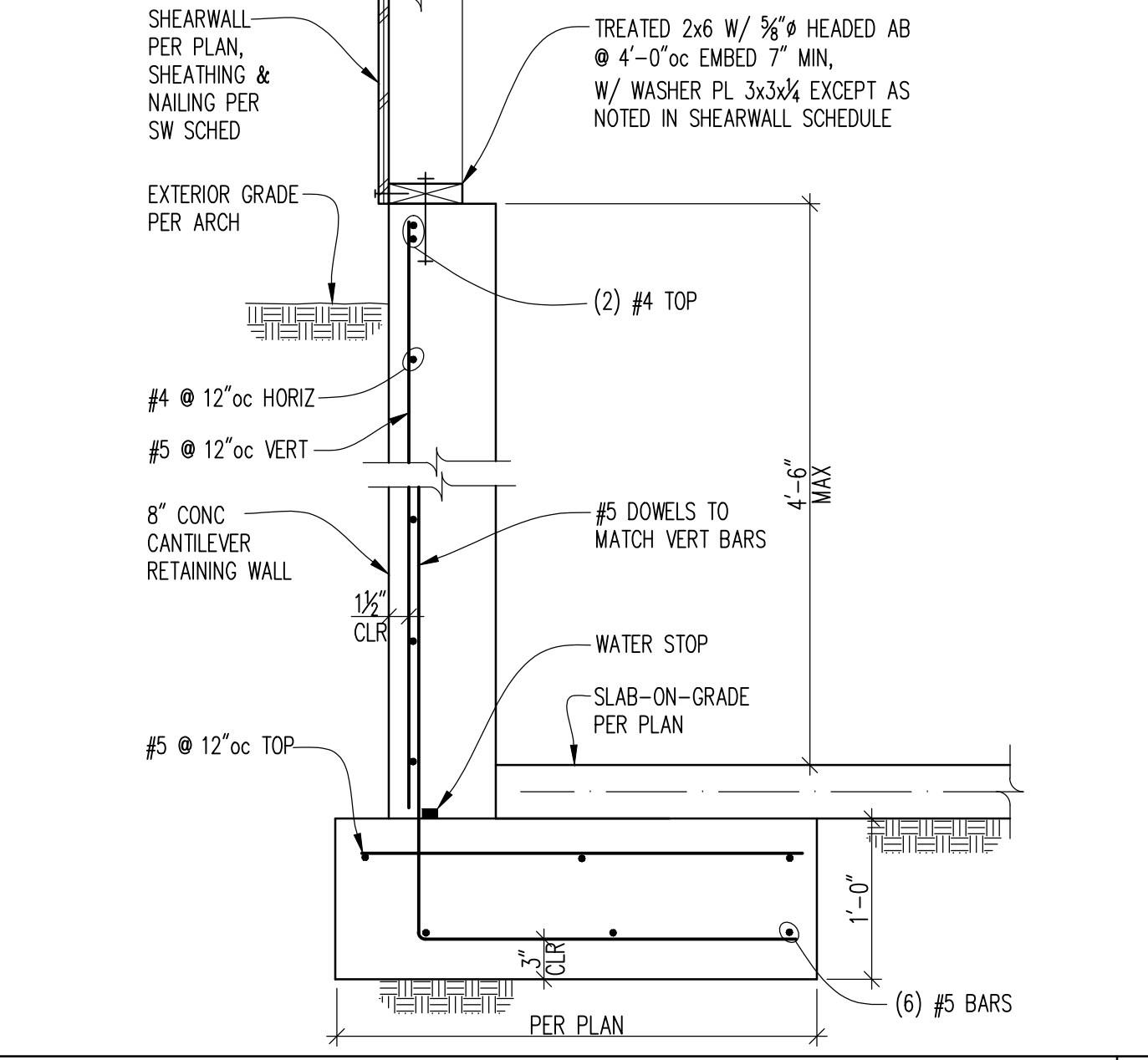
TYPICAL SLAB EDGE 4



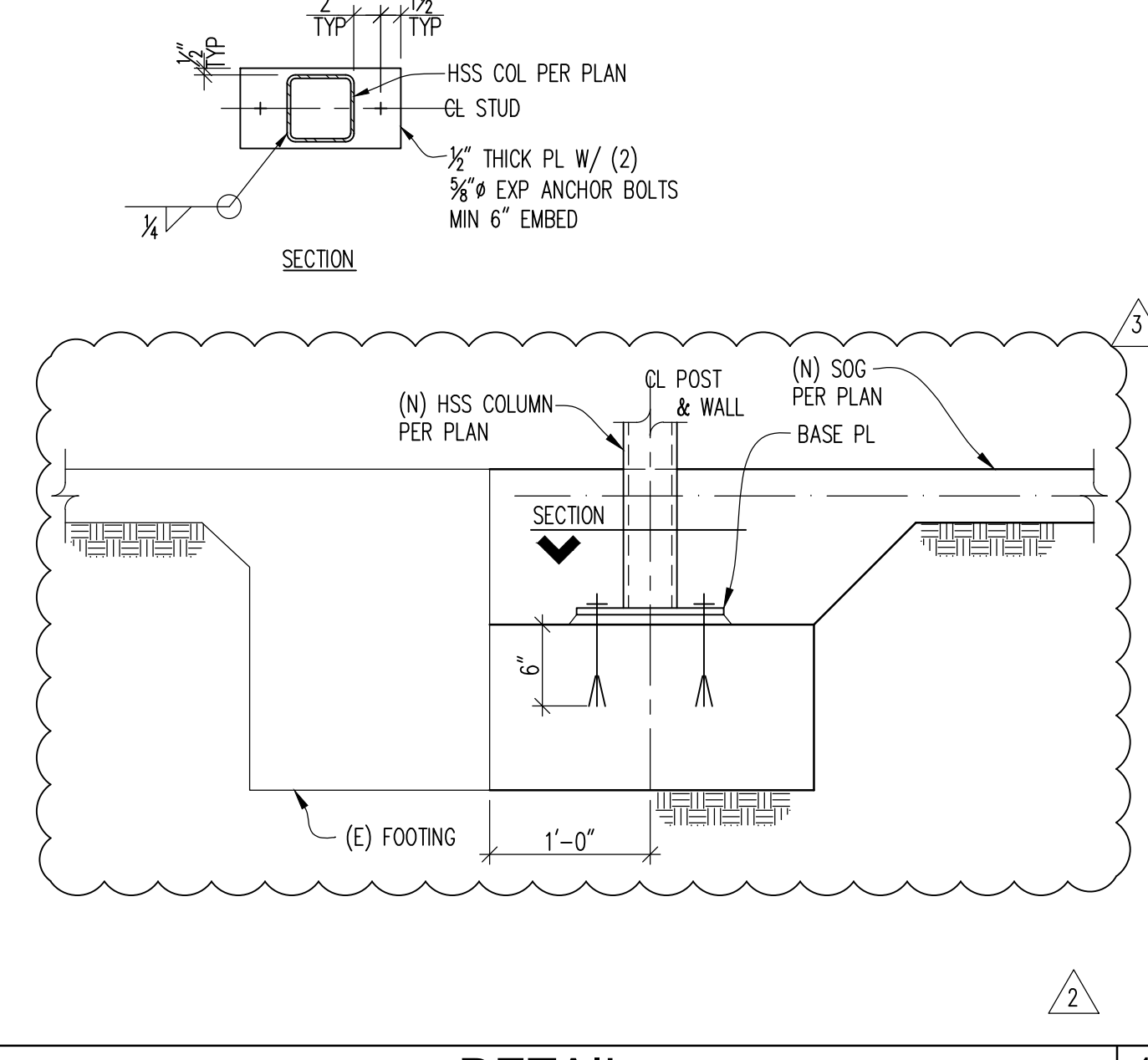
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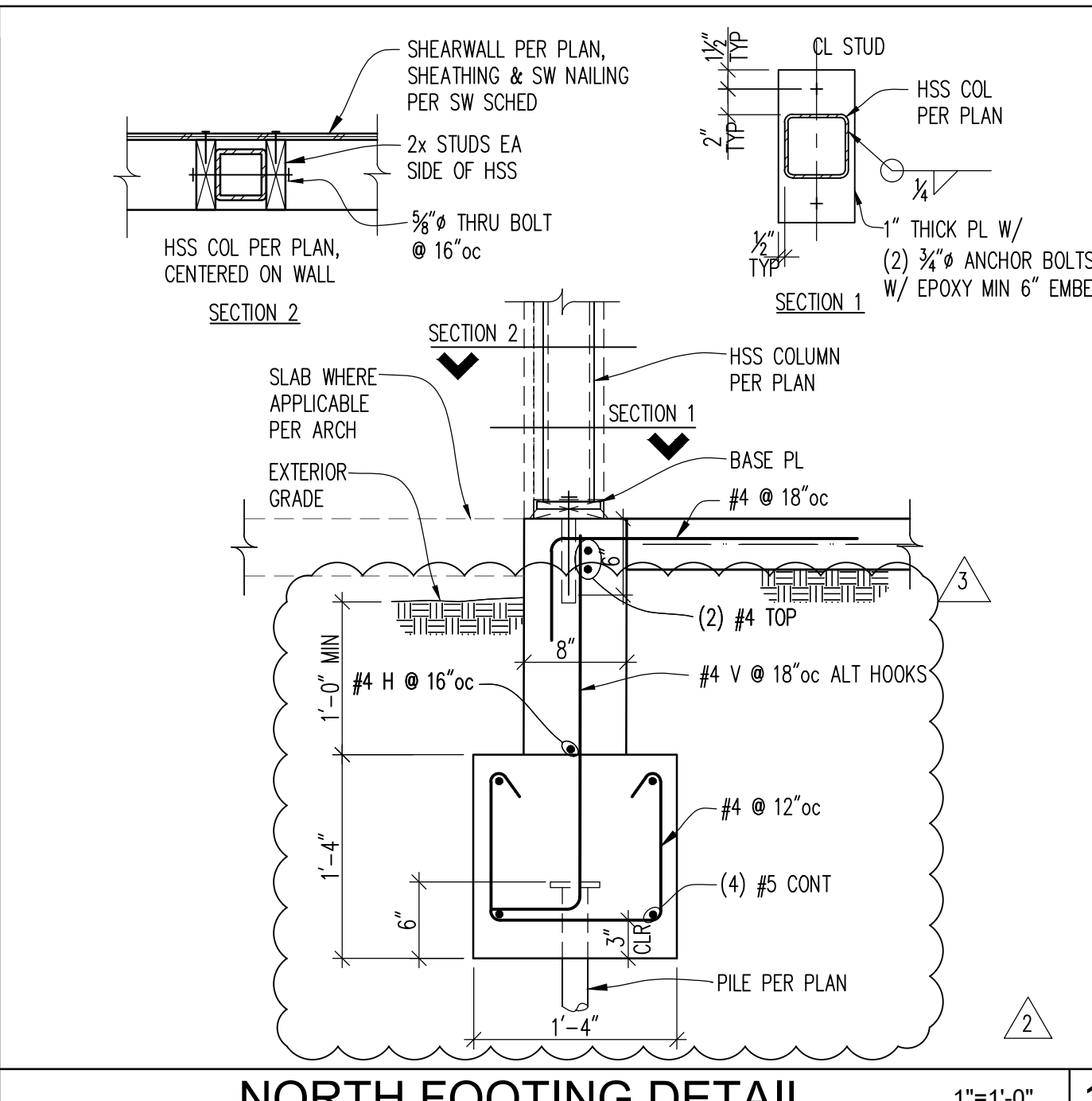
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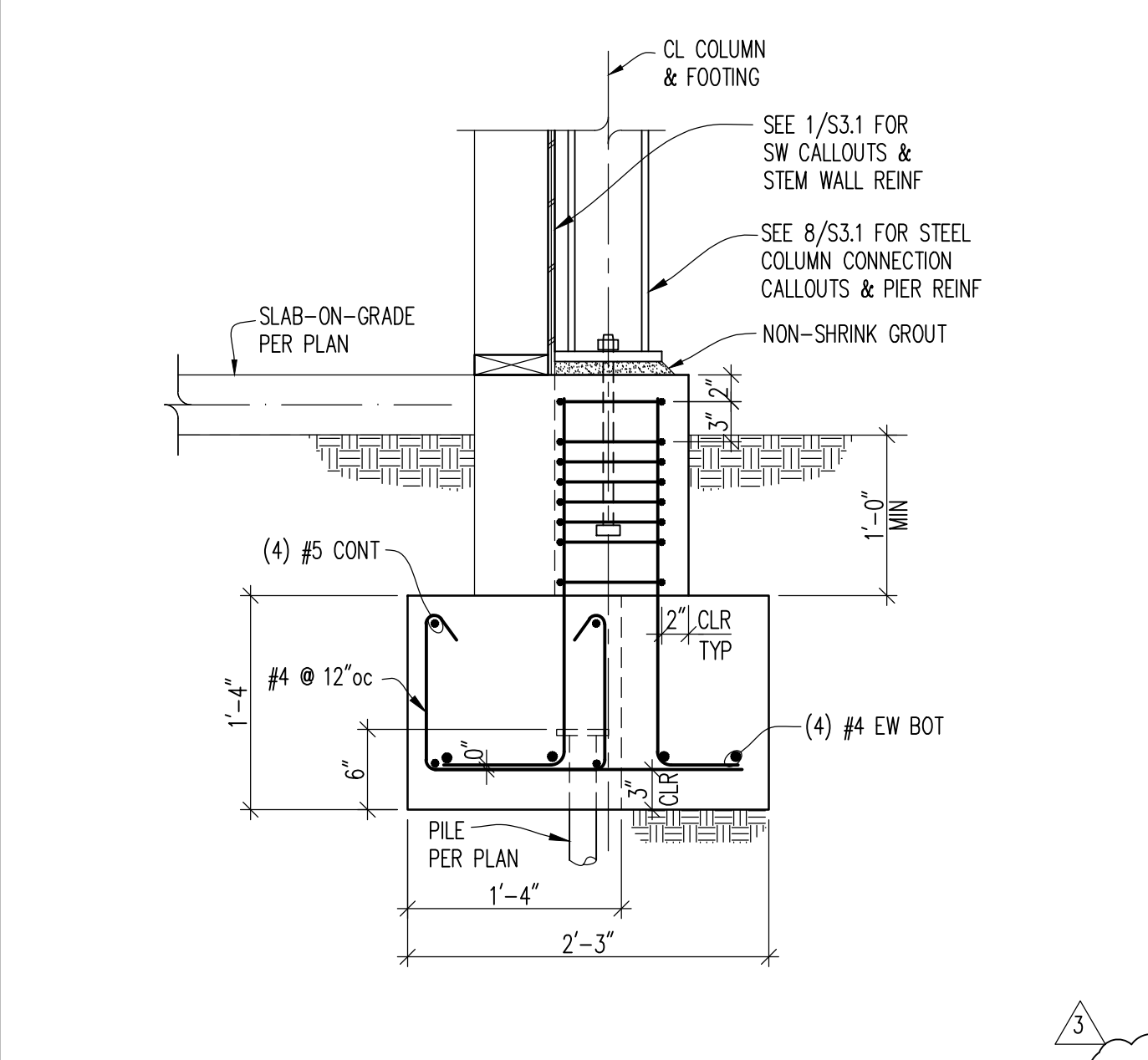
DETAIL 15



DETAIL 16



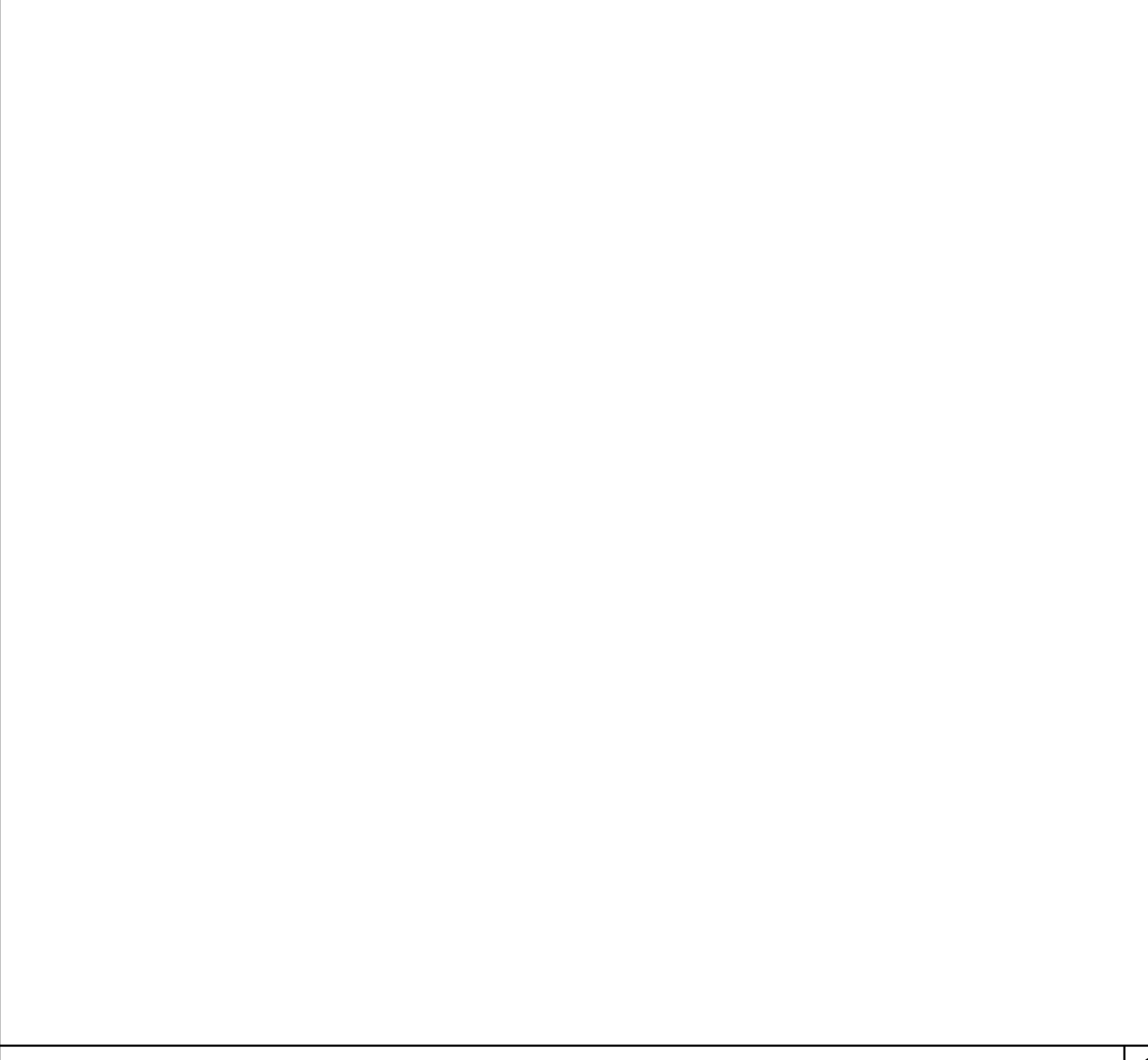
NORTH FOOTING DETAIL 17



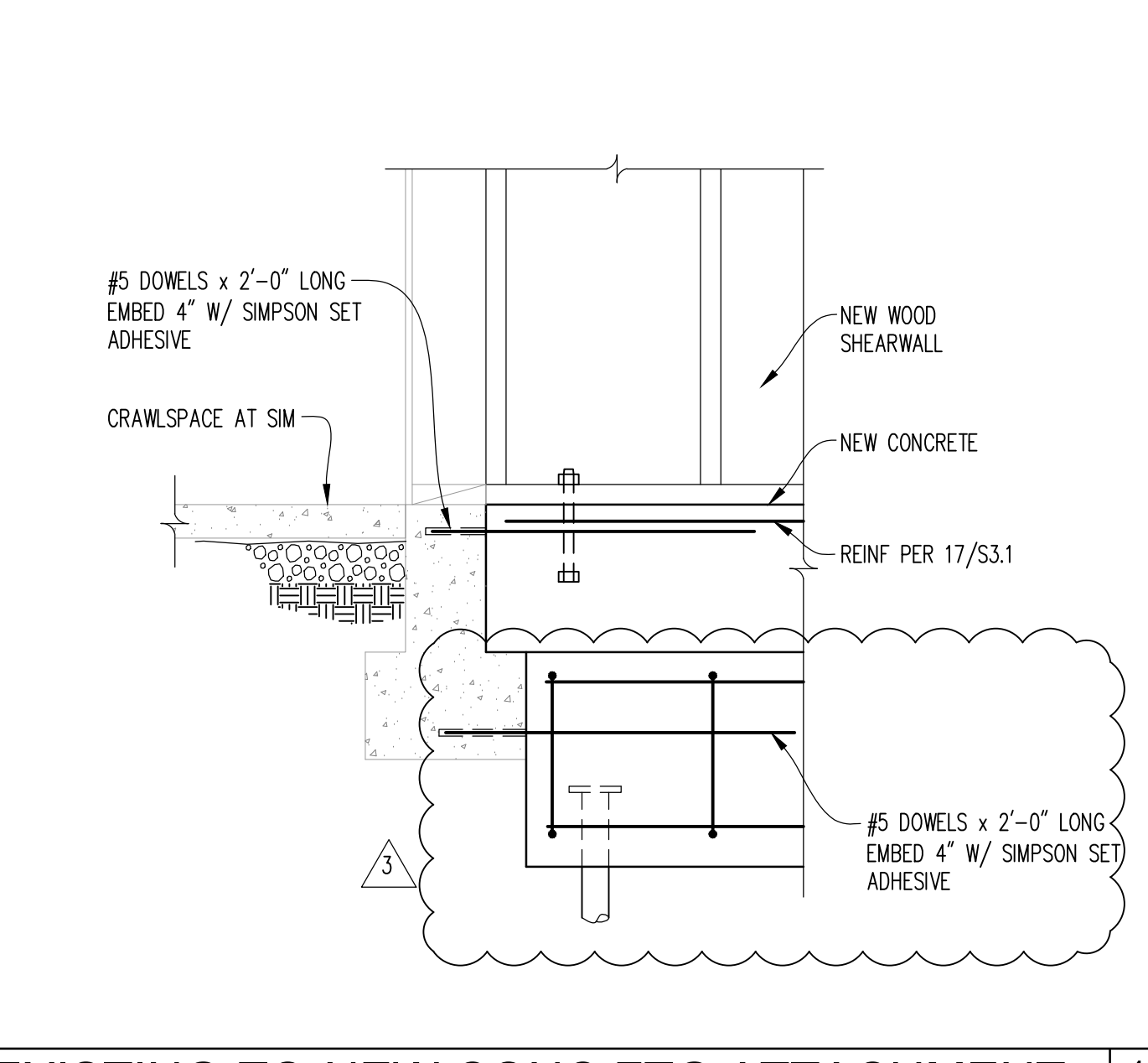
DETAIL 18



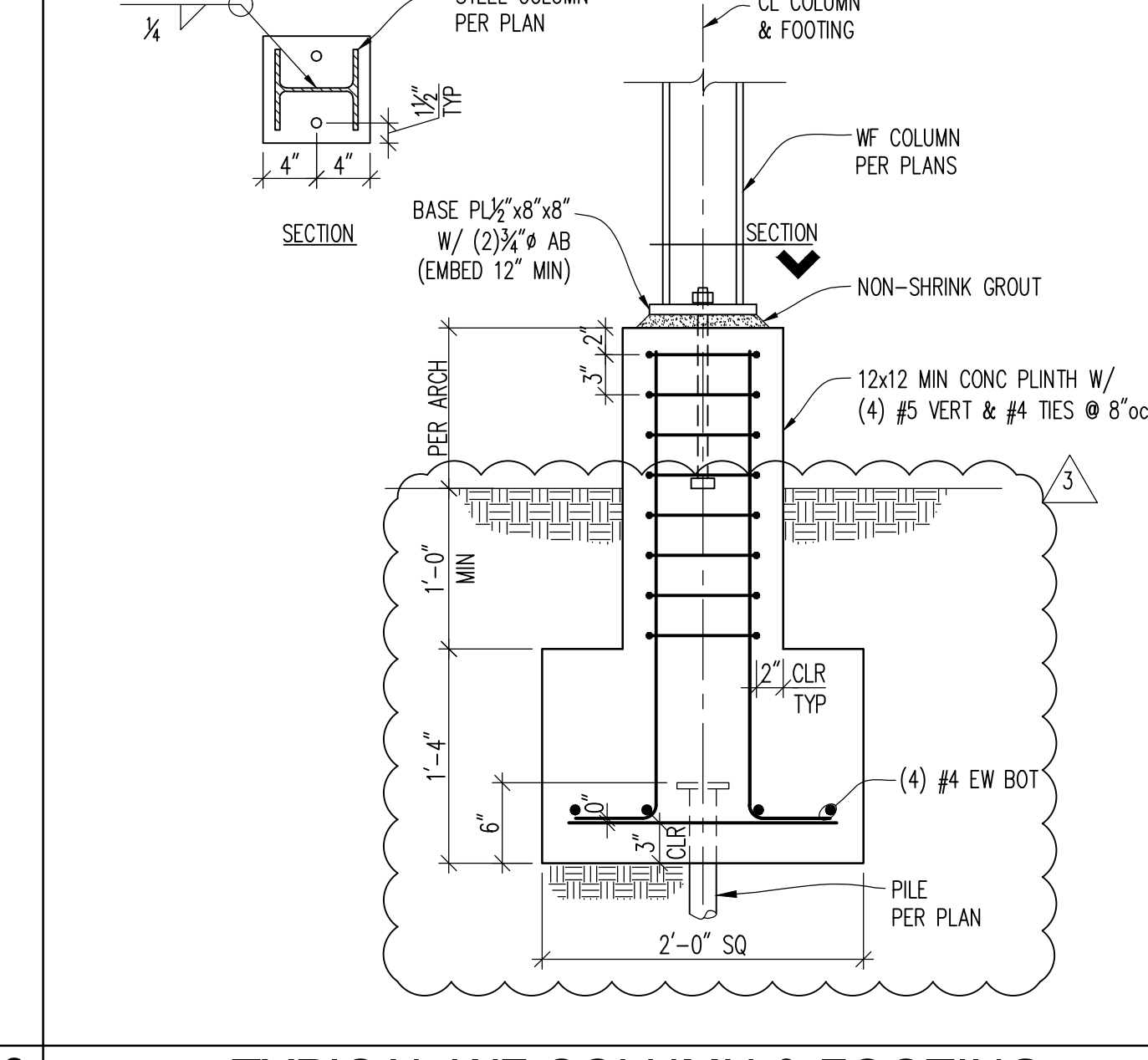
DETAIL 19



DETAIL 20



EXISTING-TO-NEW CONC FTG ATTACHMENT 12



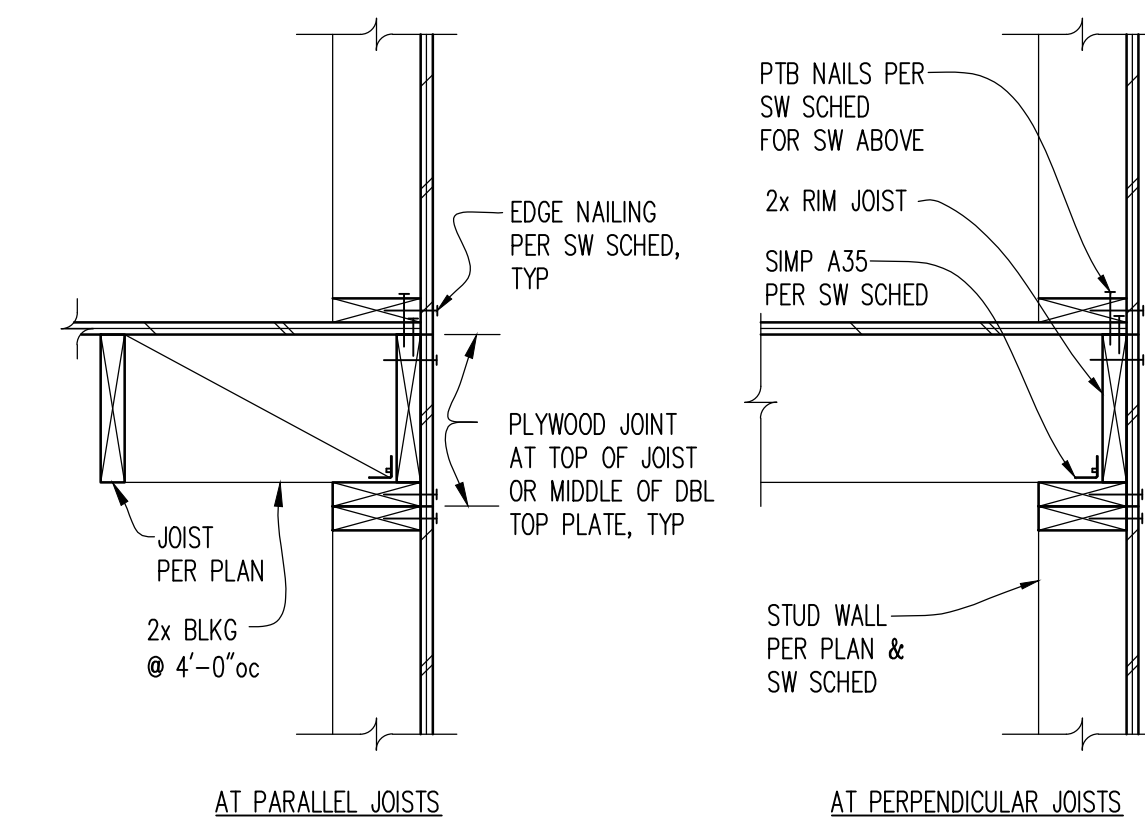
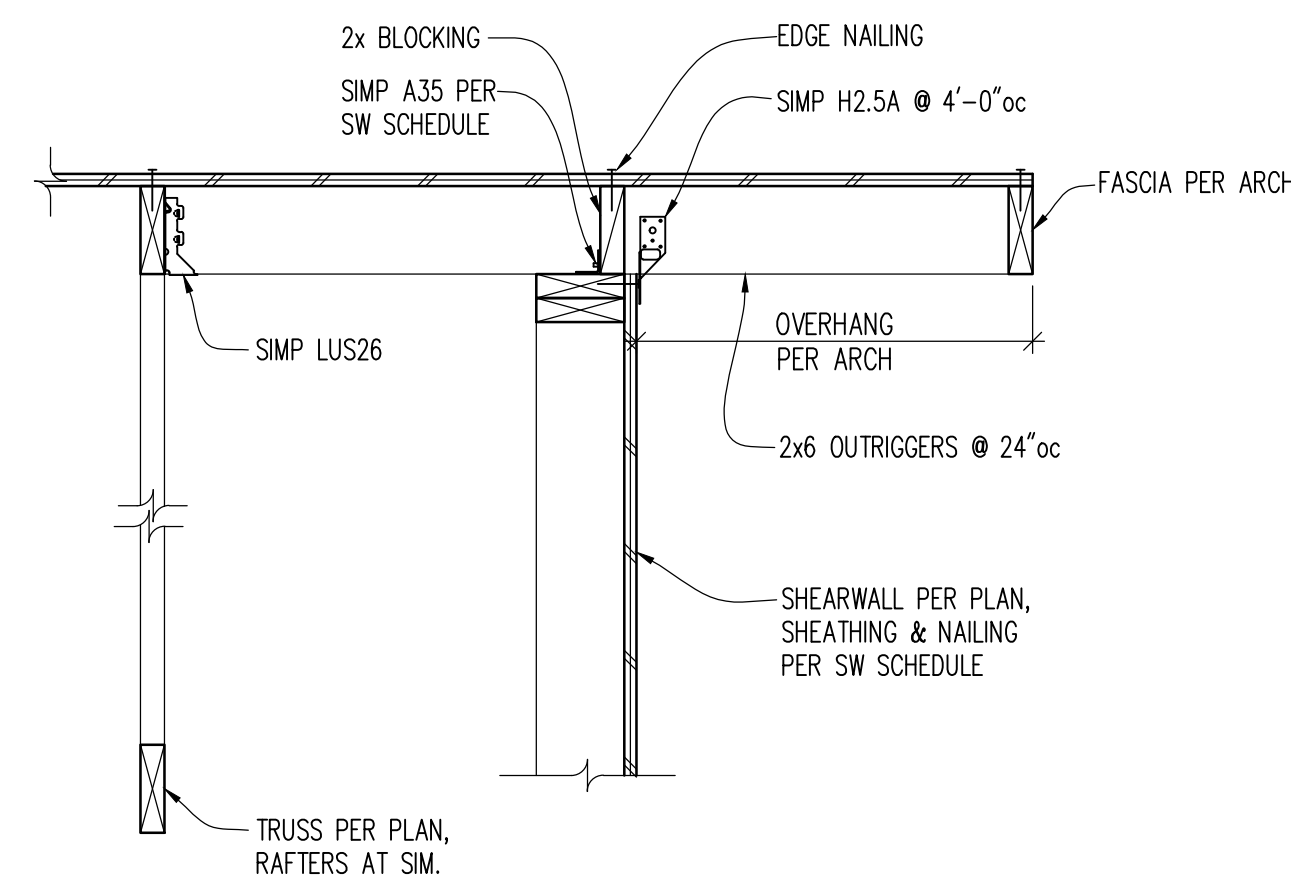
TYPICAL WF COLUMN & FOOTING 8

SHEAR WALL SCHEDULE (HEM FIR LUMBER WITH 8d NAILS)

MARK	SHEATHING (NOTES 1,2,3,4,9)	WALL BOTTOM PLATE TO WALL TOP PLATE		WALL BULKING ATTACHMENT + (NOTE 6,13)		3/4" ANCHOR BOLTS TO CONCRETE (NOTES 9,10)		MIN PANEL EDGE STUDS & BLOCKING (NOTE 8)		FASTENING ALTERNATIVE (2)2x TOGETHER (NOTE 14)		ALLOWABLE SHEAR CAPACITY (PLF)(NOTE 8)
		APPLICATION	PANEL EDGE NAIL SPACING (NOTE 5)	RIM/BULK TO WALL TOP PLATE (NOTE 6)	16d NAILS	SDS 0.220"x5"	10d NAILS	SDS 3/4"x3"	10d NAILS	SDS 3/4"x3"	10d NAILS	
SW-6	ONE SIDE	8d @ 6"oc	LTP4 @ 24"oc	11"oc	21"oc	48"oc	2x	N/A	N/A	N/A	N/A	242
SW-4	ONE SIDE	8d @ 4"oc	LTP4 @ 22"oc	7"oc	15"oc	48"oc	3x	5/8"oc	10"oc	10"oc	10"oc	353
SW-3	ONE SIDE	8d @ 3"oc	LTP4 @ 16"oc	5"oc	11"oc	36"oc	3x	4"oc	8"oc	8"oc	8"oc	456
SW-2	ONE SIDE	8d @ 2"oc	LTP4 @ 13"oc	4"oc	8"oc	27"oc	3x	(2) @ 6/8"oc	6/8"oc	6/8"oc	6/8"oc	595
SW-44	BOTH SIDES (NOTE 7)	8d @ 4"oc	LTP4 @ 11"oc	N/A	7"oc	23"oc	3x	(2) @ 5/8"oc	5/8"oc	5/8"oc	5/8"oc	706
SW-33	BOTH SIDES (NOTE 7)	8d @ 3"oc	LTP4 @ 8"oc	N/A	7"oc **	18"oc	3x	(2) @ 4"oc	4"oc	4"oc	4"oc	912
SW-22	BOTH SIDES (NOTE 7)	8d @ 2"oc	LTP4 @ 6"oc	N/A	5/8"oc **	13"oc	3x	(2) @ 3"oc ***	3"oc	3"oc	3"oc	1190

* A35 OR LTP4 CAN BE USED ALTERNATIVELY
 ** USE MIN 2x DF RIM BOARD AT THESE SHEARWALLS
 *** FASTENERS SHALL BE STAGGERED

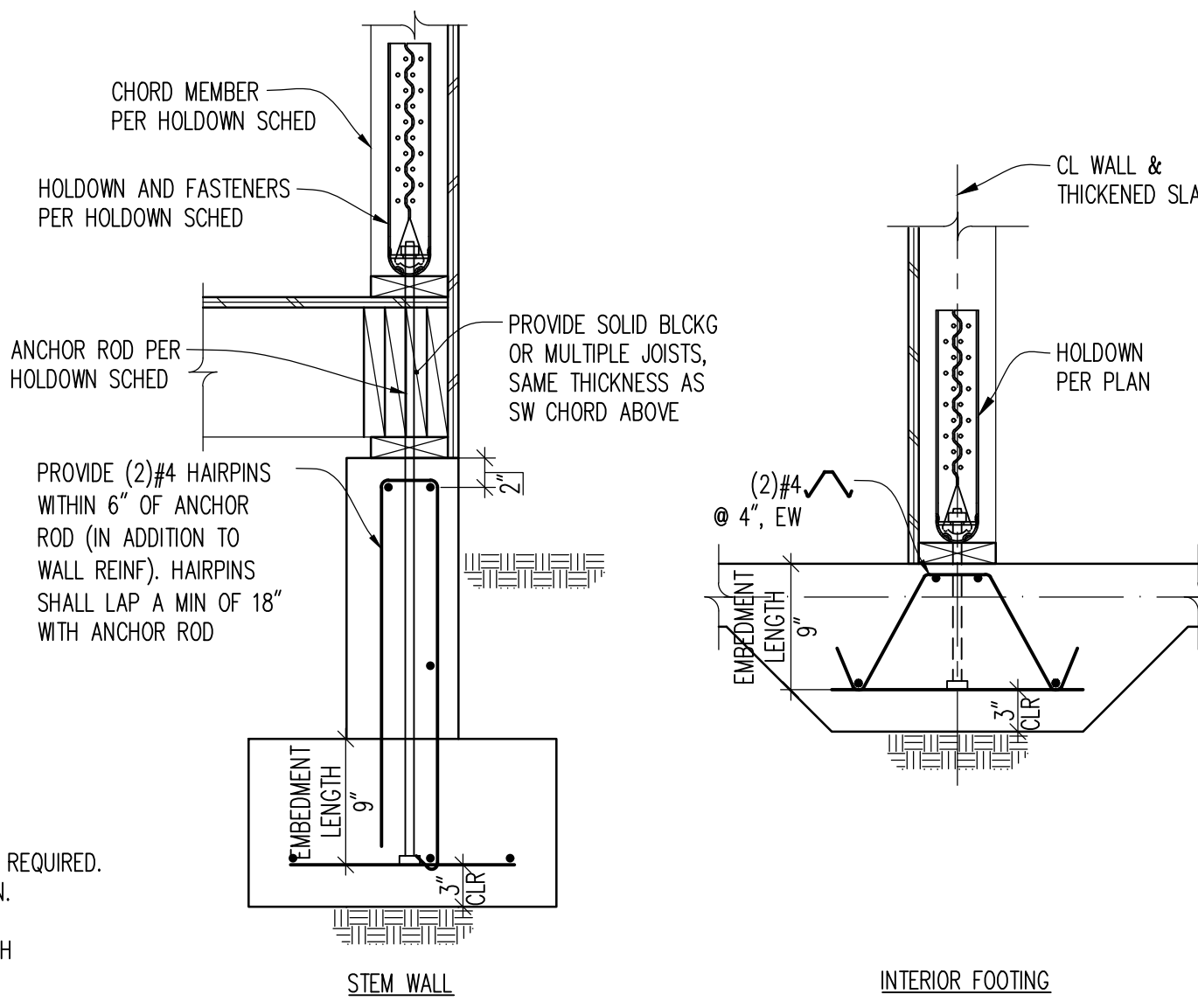
- NOTES:**
- SHEATHING SHALL BE 5/8" OR 3/4" PLY, TYP UNO. OSB SHALL NOT BE SUBSTITUTED FOR PLYWOOD. SHEATHING SHALL HAVE A MINIMUM SPAN RATING OF 24/0.
 - SHEATHING SHALL BE APPLIED DIRECTLY TO FRAMING.
 - PROVIDE SOLID BLOCKING AT ALL SHEATHING PANEL EDGES.
 - PROVIDE 8d @ 12"oc AT ALL INTERMEDIATE SUPPORTS (FIELD NAIL), TYP UNO.
 - NAILS PER GENERAL STRUCTURAL NOTES.
 - LATERAL TIE PLATES OR WALL PLATE TO BLOCKING NAILING IS REQUIRED WHERE SHEATHING IS DISCONTINUOUS, I.E. WHERE ADJACENT SHEATHING EDGES ARE NOT NAILED TO THE SAME PIECE OF FRAMING. TIE NAILING IS NOT PERMITTED. LATERAL TIE PLATES MAY BE SUBSTITUTED FOR WALL PLATE TO BLOCKING NAILING. INSTALL LATERAL TIE PLATES OVER APA RATED SHEATHING PANELS. USE COMMON NAILS OR EQUIVALENT NAILS SUPPLIED BY CONNECTOR MANUFACTURER FOR LATERAL TIE PLATES. A35 FRAMING ANCHORS MAY BE SUBSTITUTED FOR LATERAL TIE PLATES AT SPACING SHOWN IN TABLE.
 - WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, STAGGER PLYWOOD JOINTS SO THAT JOINTS ON EACH SIDE OF THE WALL DO NOT OCCUR AT THE SAME STUD. PROVIDE 3x BLOCKING FOR ALL DOUBLE SHEATHED WALLS.
 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLANS. ENDS OF WALLS ARE DESIGNATED BY EXTERIOR OF BUILDING, CORRIDORS, OR DOORWAYS. PROVIDE HOLD-DOWNS PER PLANS AT EACH END OF WALL, UNO. PROVIDE EDGE NAILING TO STUD(S) GRIPPED BY HOLD-DOWN.
 - CRITERIA: 2012 IBC
HEM FIR LUMBER
2500 PSI CONCRETE MINIMUM
ASTM A307 ANCHOR BOLTS WITH 2 3/4" EDGE DISTANCE IN CONCRETE AND 7" MINIMUM EMBEDMENT
 - INSTALL 3x3/4" PL WASHERS AT ALL ANCHOR BOLTS, BETWEEN THE NUT AND THE SILL PLATE. USE 4 1/2"x4 1/2"x1/4" PL WASHERS WHERE 2x6 STUD WALLS ARE SHEATHED ON BOTH SIDES. ALL PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
 - AT SHEARWALLS WHERE SHEATHING MAY EXTEND VERTICALLY TO OVERLAP WITH RIMBOARD/BLOCKING ABOVE, IT IS ACCEPTABLE TO NAIL SHEATHING TO RIMBOARD/BLOCKING WITH EDGE NAILING AS SPECIFIED IN TABLE ABOVE AND ELIMINATE THE A35 CLIPS BETWEEN THE RIMBOARD/BLOCKING AND WALL TOP PLATE.
 - FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION RESISTANT.
 - 1 1/2" MIN LSL, RIM BOARD AND SINGLE SILL PLATE ARE ASSUMED. IF RIM MATERIAL IS DIFFERENT, NOTIFY ENGINEER FOR REVISED SPACING. IF (2)2x SILL PLATES ARE USED, USE SDS 0.220"x6" SCREWS. CONTRACTOR CAN SELECT EITHER NAILS OR SCREWS.
 - (2)2x STUDS AND SILL PLATES CAN BE USED INSTEAD OF 3x MEMBERS. (2)2x STUDS WILL NEED TO BE FASTENED TOGETHER WITH EITHER NAILS OR SCREWS AS CALLED OUT.



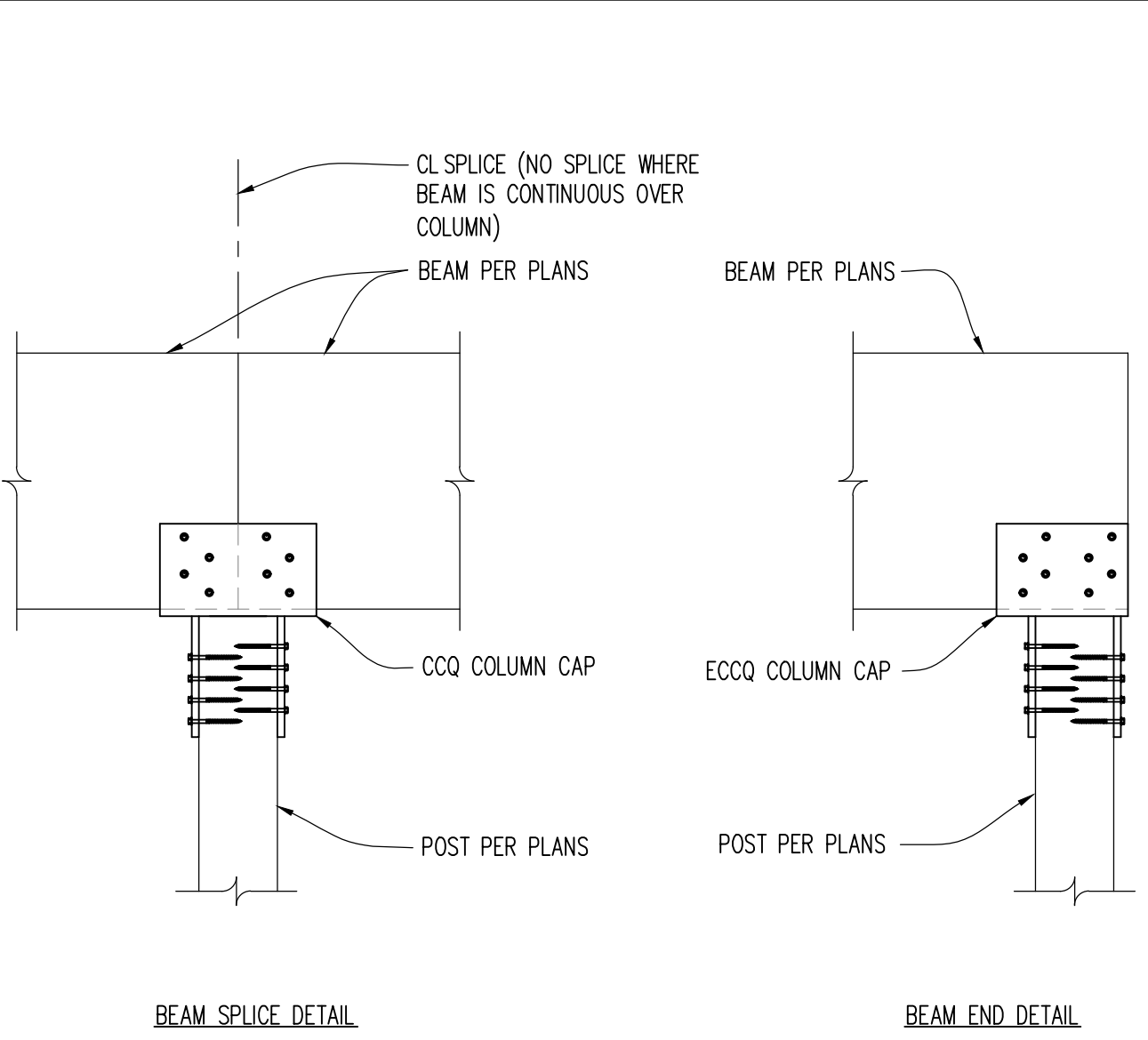
SHEAR WALL SCHEDULE (HEM FIR LUMBER)

MARK	FASTENERS TO CONCRETE ANCHOR # SEE NOTES 1, 5, 6, 7	FASTENERS TO WOOD STUDS OR POSTS BOLTS	SDS 3/4"x2 1/2" SCREWS	16d COMMON NAILS SEE NOTE 5	CHORD MEMBER SEE NOTES 2 AND 4	ANCHOR ALLOWABLE LOAD (LBS)
MSTC40	3" x 16 GA	-	-	(32) 16d	(2) 2x STUDS	2,655
MSTC52	3" x 16 GA	-	-	(48) 16d	(2) 2x STUDS	3,985
MSTC66	3" x 14 GA	-	-	(68) 16d	(2) 2x STUDS	5,850
HDU2	3/8"	-	6	-	(2) 2x STUDS	2,215
HDU4	3/8"	-	10	-	(2) 2x STUDS	3,285
HDU5	3/8"	-	14	-	(2) 2x STUDS	4,340
HDU8	3/8"	-	20	-	6x6 DF	7,870
HDU11	1"	-	30	-	6x6 DF	9,335
HDU14	1"	-	36	-	6x6 DF	14,445

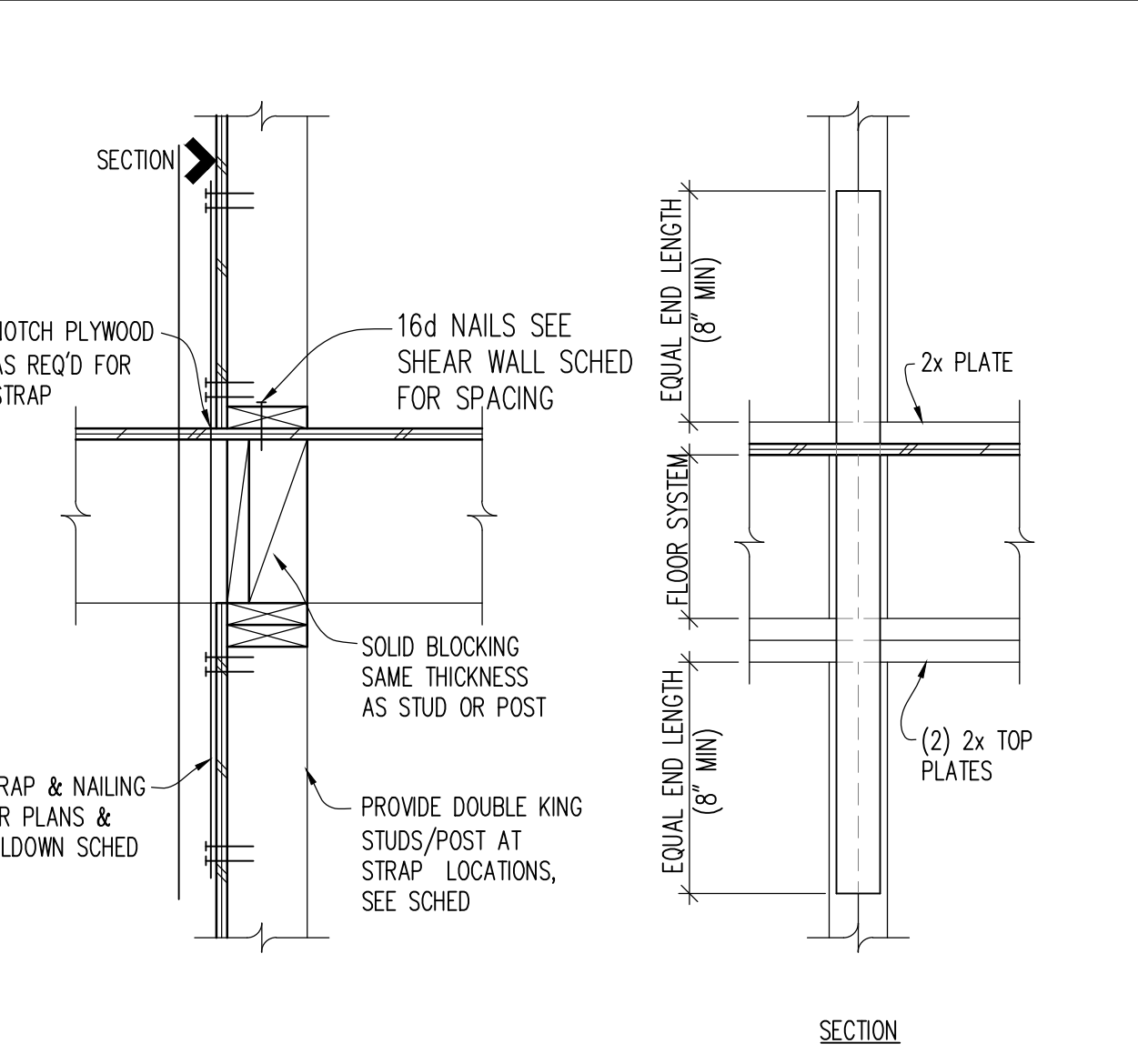
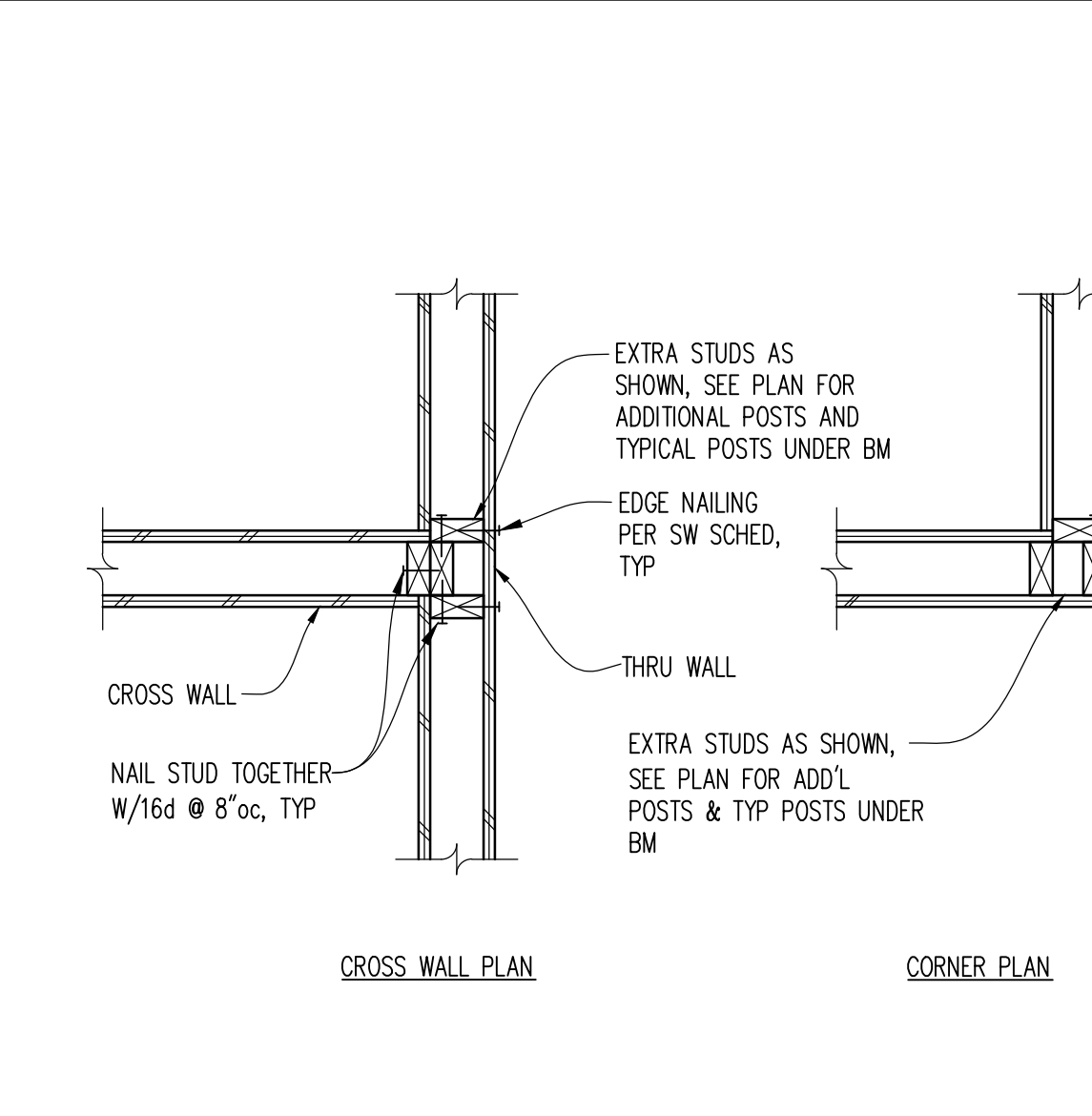
- NOTES:**
- PROVIDE ASTM F1554 OR 36 HEAVY SQUARE HEAD ANCHORS FOR ALL HOLD-DOWNS.
 - WOOD MEMBERS (MIN.) ABOVE AND BELOW WHERE STRAP OR HOLD-DOWN OCCURS AT FLOOR LEVEL.
 - HOLD-DOWN SCHEDULE IS PROVIDED FOR GENERAL INSTALLATION INFORMATION. NOT ALL HARDWARE SCHEDULED IS REQUIRED. SEE PLANS FOR HOLD-DOWN CALL-OUTS AND LOCATIONS. CONSULT MANUFACTURER FOR ADDITIONAL INFORMATION.
 - IF SHEAR WALL REQUIRES 3x STUDS, USE MIN (2) 3x STUDS INSTEAD OF (2) 2x STUDS.
 - QUANTITY OF NAILS FOR STRAPS ARE EVENLY DIVIDED BETWEEN ENDS OF STRAPS ABOVE AND BELOW THE DEPTH OF THE FLOOR SYSTEM. USE 16d COMMON NAILS.
 - WHERE HOLD DOWN OCCURS ATOP BEAM WITH NO STRUCTURE BELOW, SEE DETAIL 19/S4.1.
 - HOLD-DOWN DETAIL AT FLOOR-TO-FLOOR HOLD-DOWNS CONDITION PER 5/S4.2.
 - STRAP DETAIL AT FLOOR-TO-FLOOR STRAP CONDITION PER 8/S4.2.
 - IBC 2015, Fc = 2,500 PSI, HEM-FIR LUMBER.



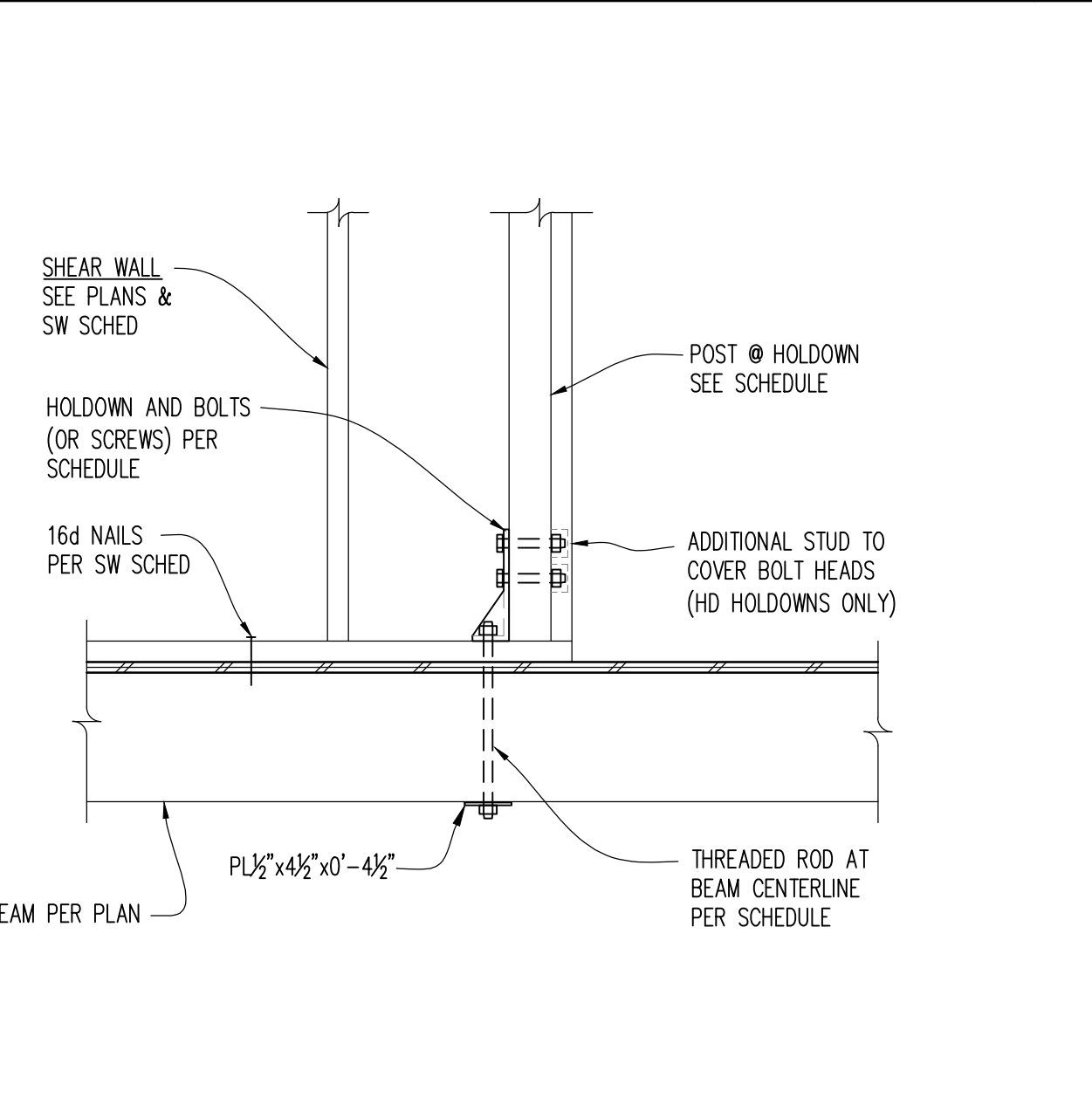
TYPICAL OUTRIGGER



TYP WALL DETAIL

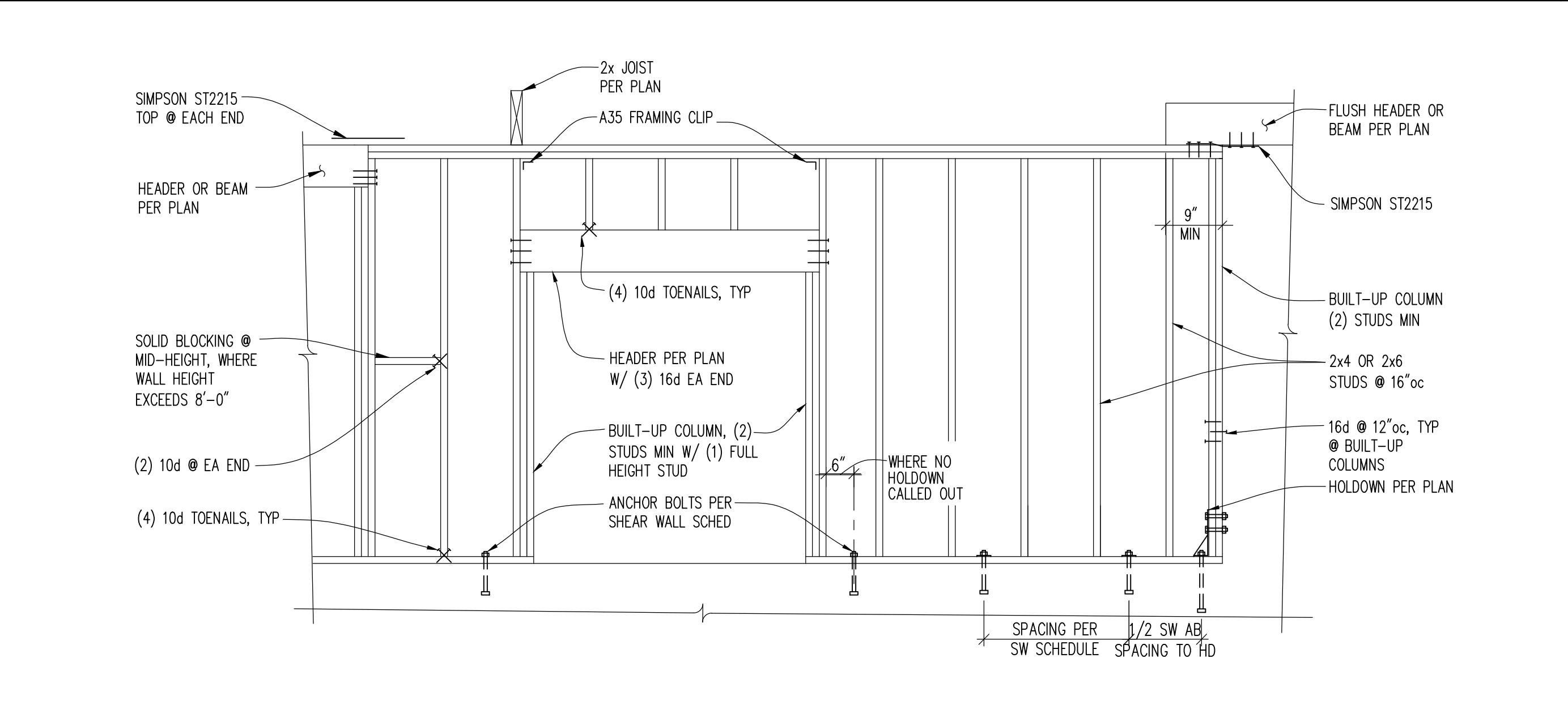


FLOOR TO FLOOR HOLD-DOWN STRAP

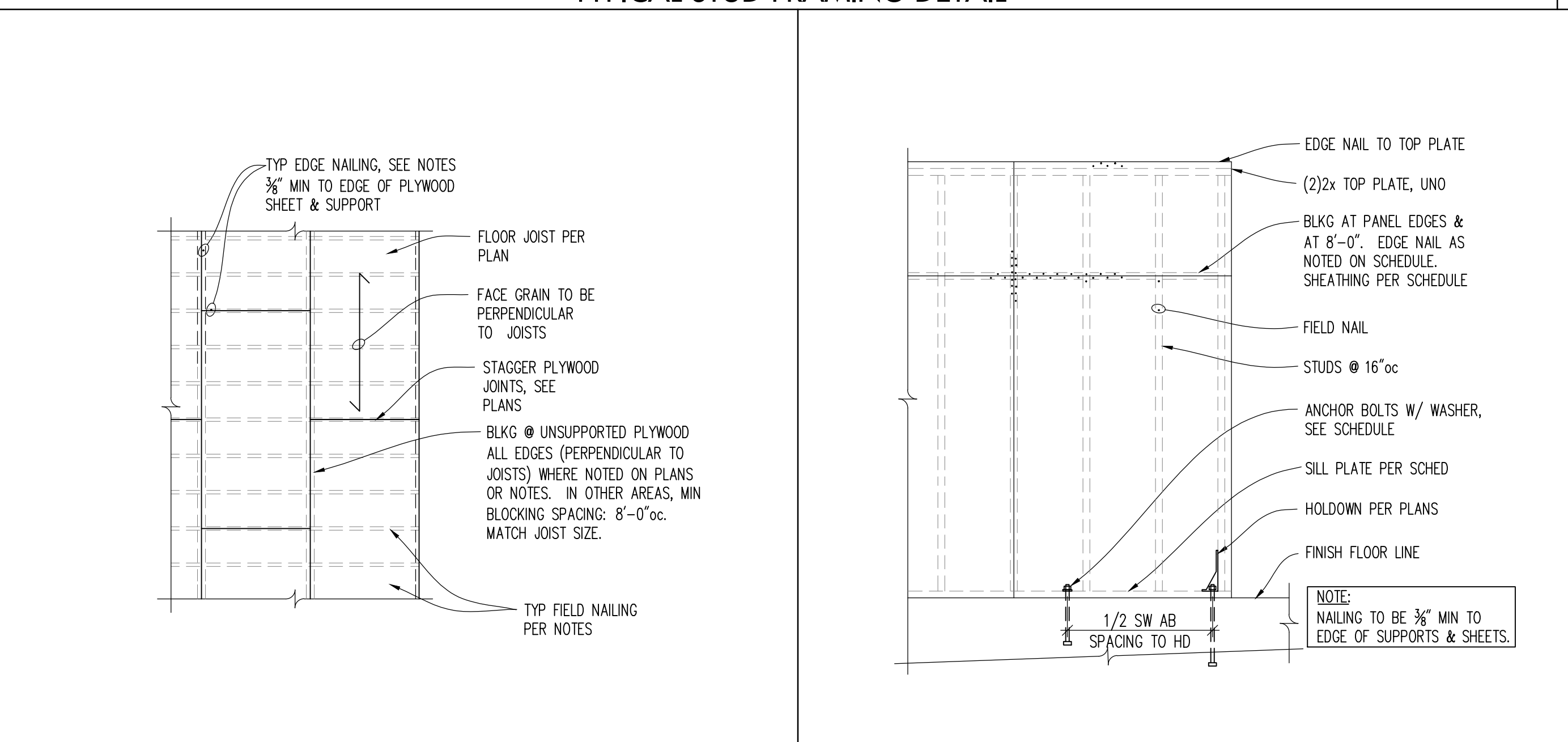


DETAIL

SHEAR WALL SCHEDULE (HEM FIR LUMBER)



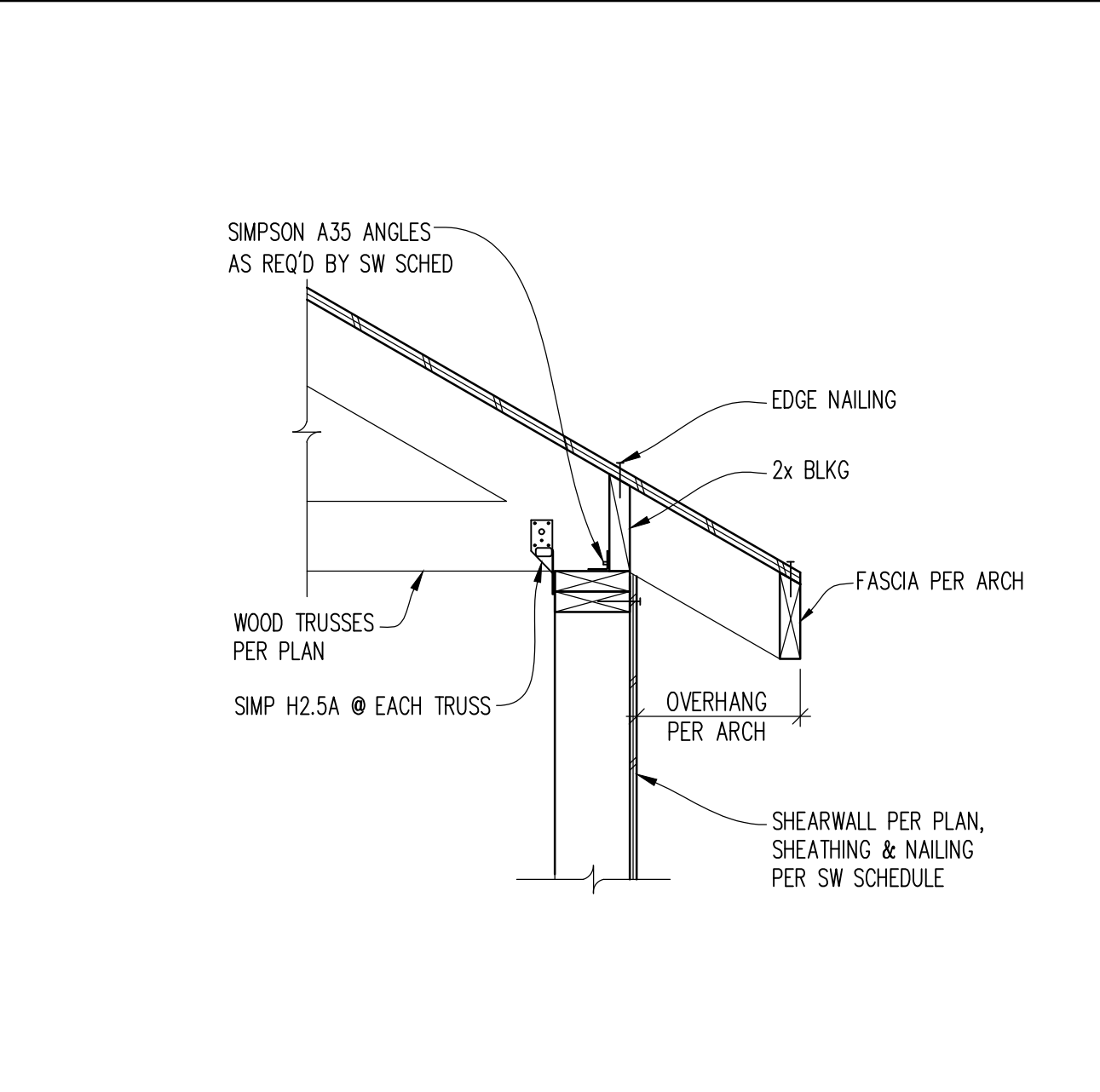
TYPICAL STUD FRAMING DETAIL



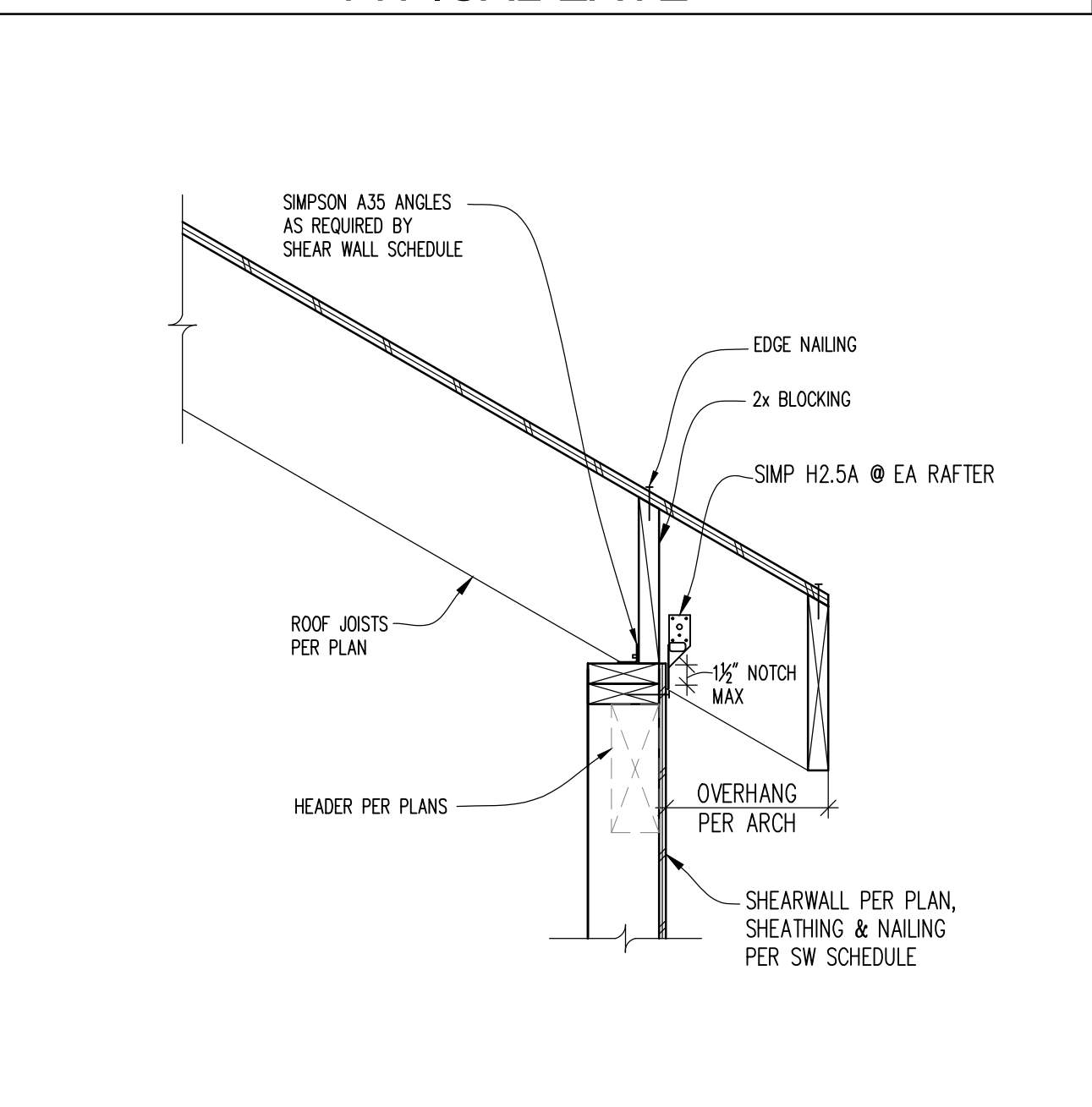
TYPICAL FLOOR SHEATHING

TYPICAL SHEAR WALL SHEATHING

TYP. COLUMN CAP DETAILS

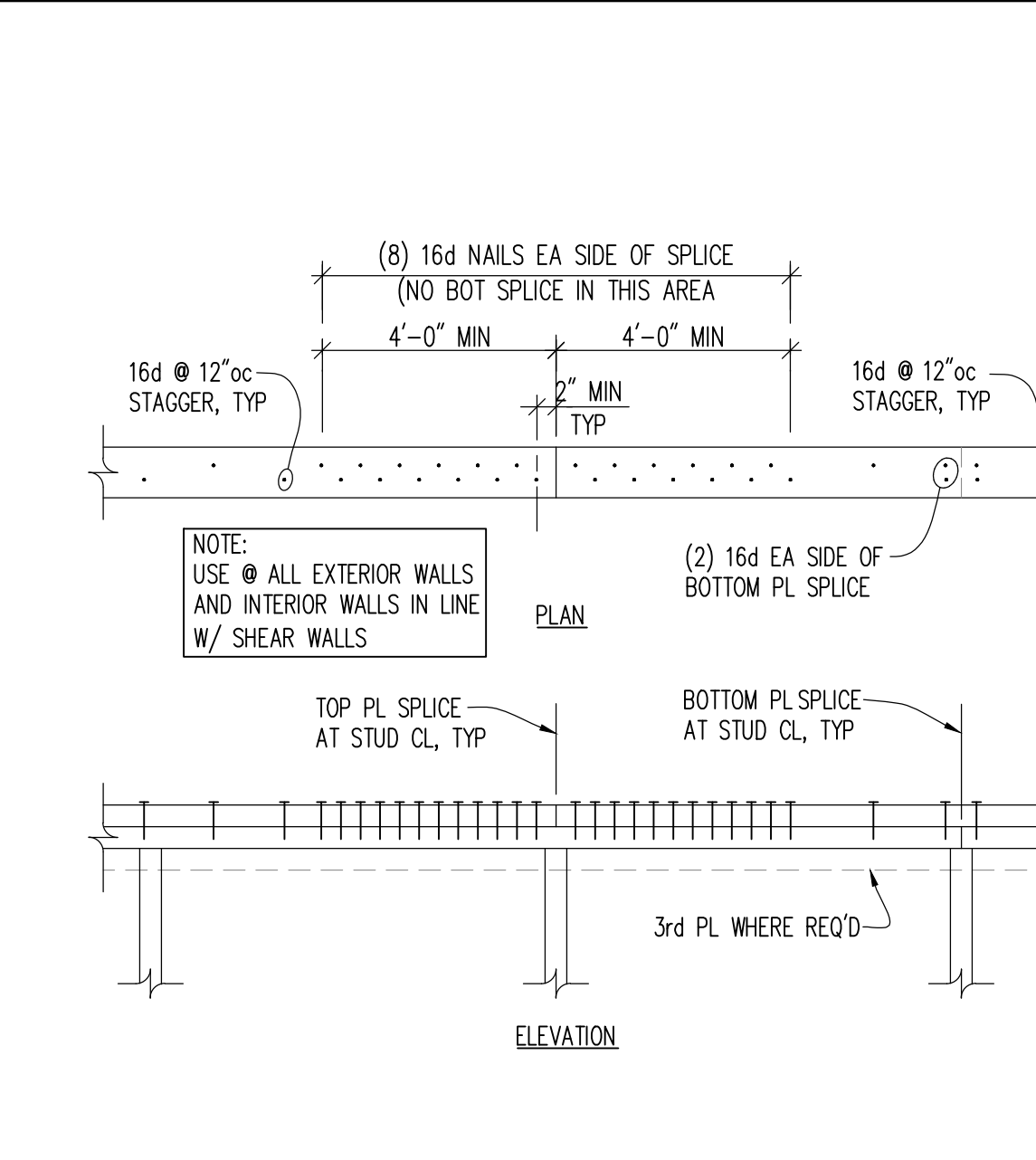


TYPICAL EAVE

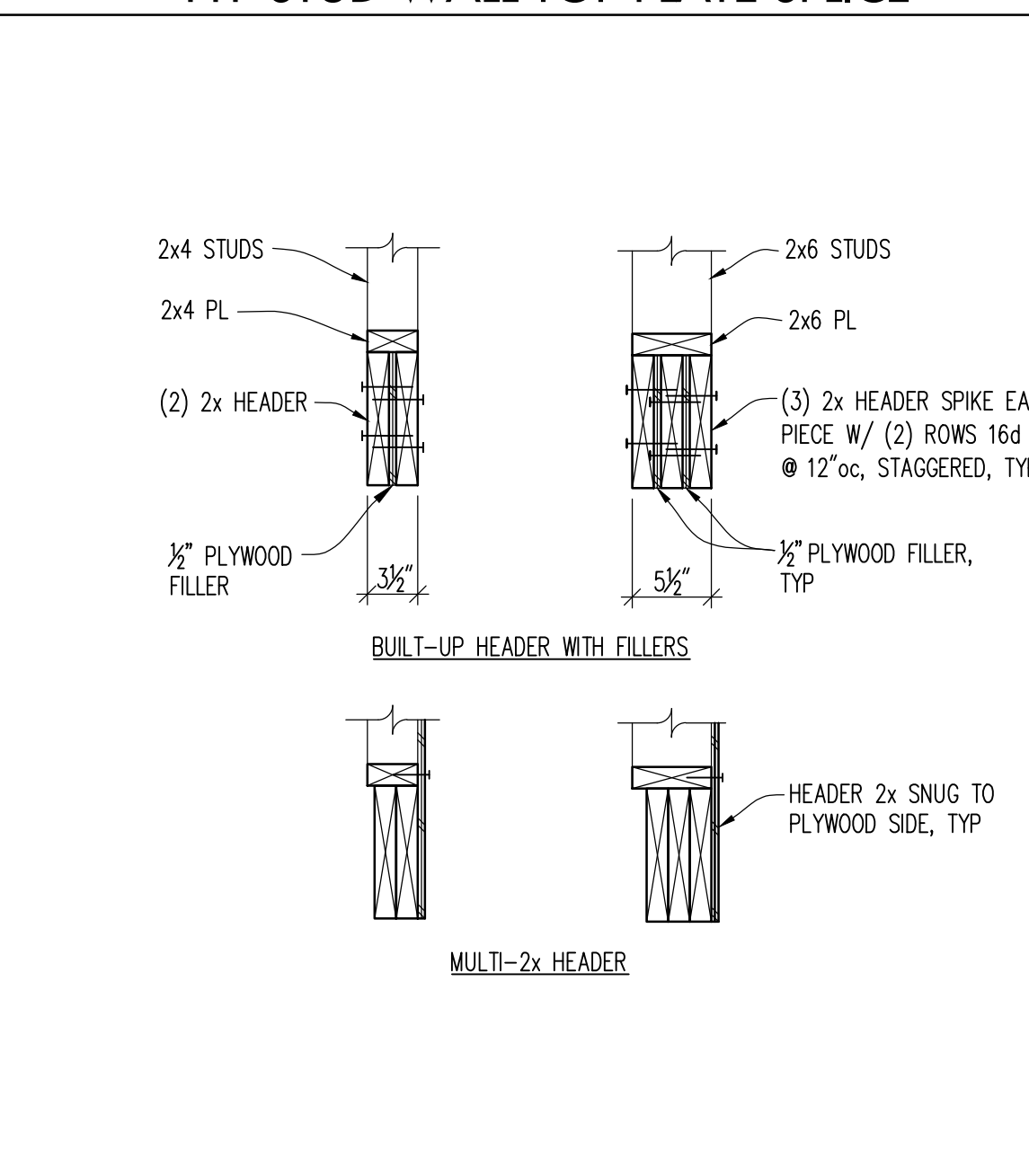


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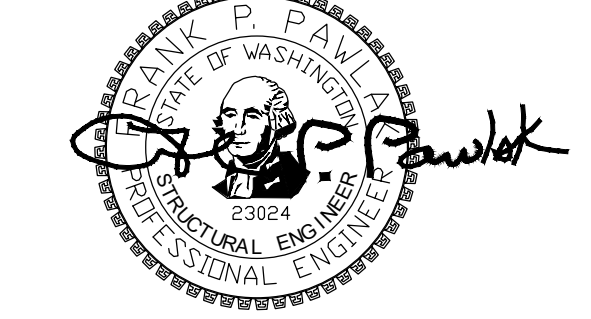
TYPICAL SHEAR WALL INTERSECTION



TYP STUD WALL TOP PLATE SPLICE



TYPICAL BUILT-UP HEADER SECTIONS



REVISIONS

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11-4-20	PERMIT	
4/21/21	PERMIT RESPONSE	
2/4/22	REVISIONS	
2/18/22	REVISIONS	

11/4/20	20-129
DATE	JOB #
AM	FPF
DESIGN	CHECKED
LMS	AS NOTED
DRAWN	SCALE

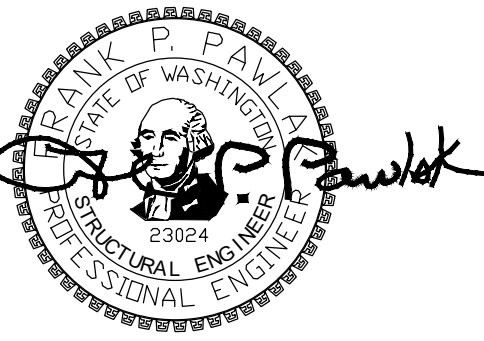
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SHEET NO.

S4.1



PROJECT

9820 SE 35TH PLACE
ACHIN & MARY CHEN
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REVISIONS

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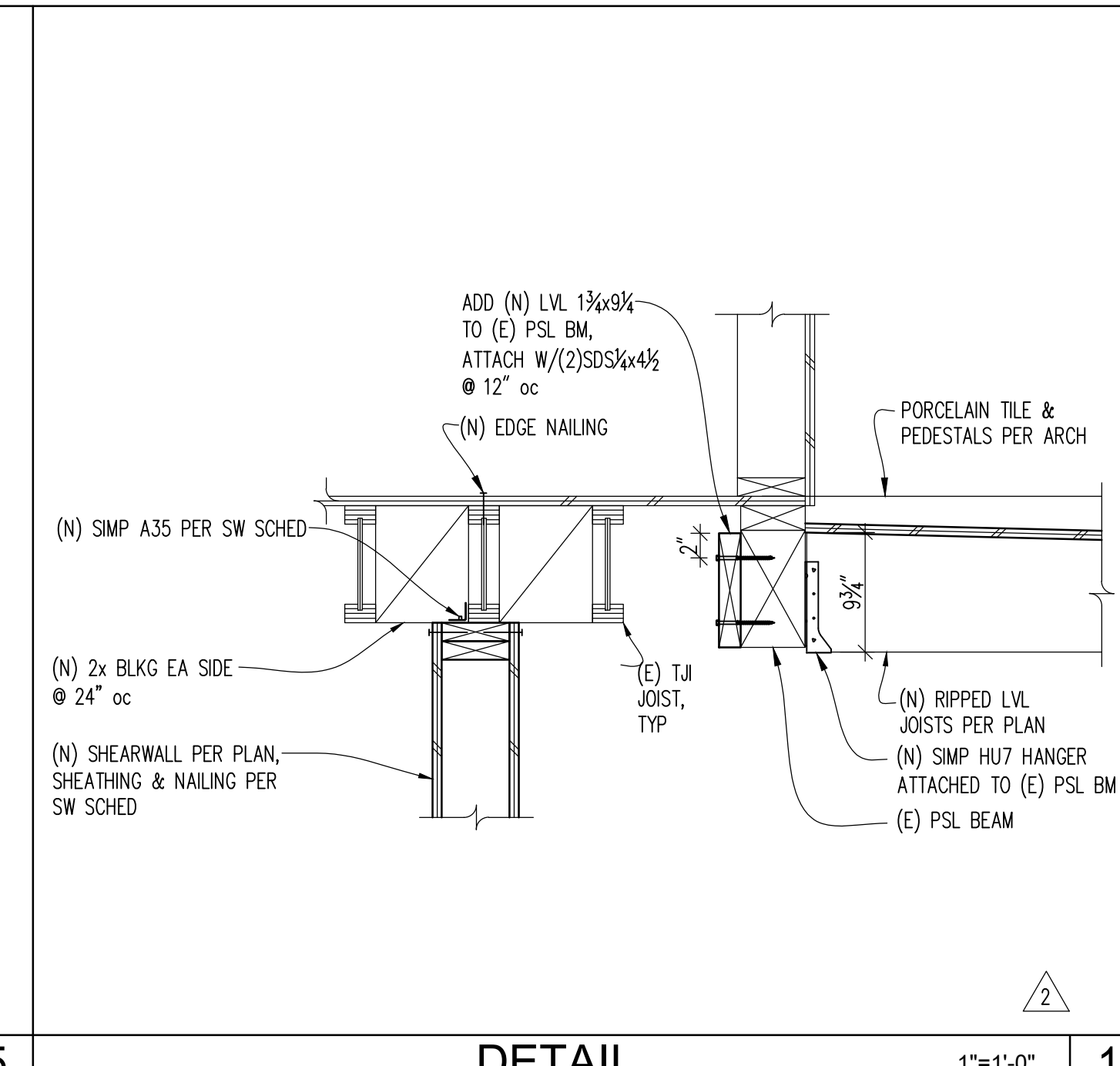
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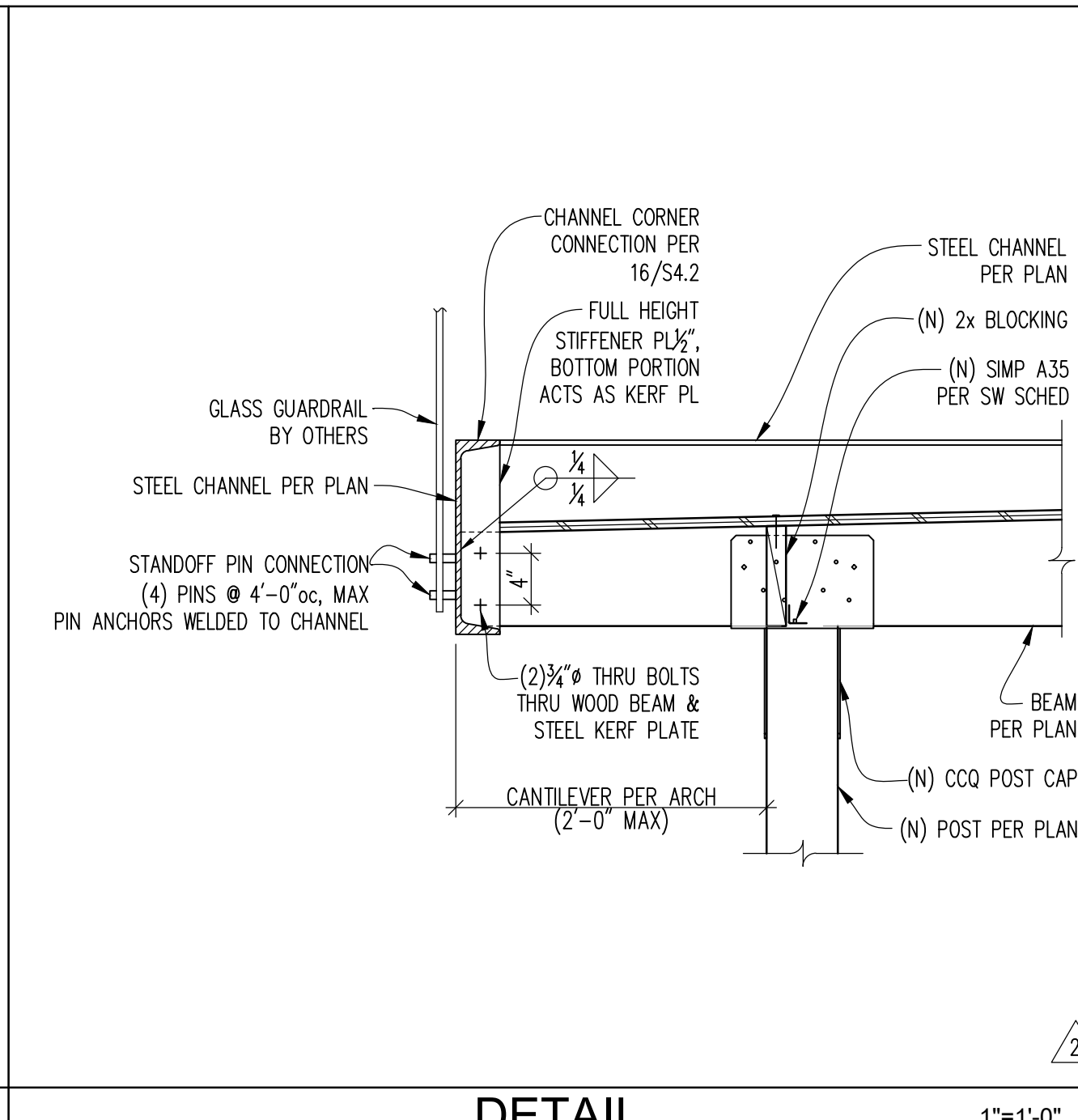
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SHEET NO.

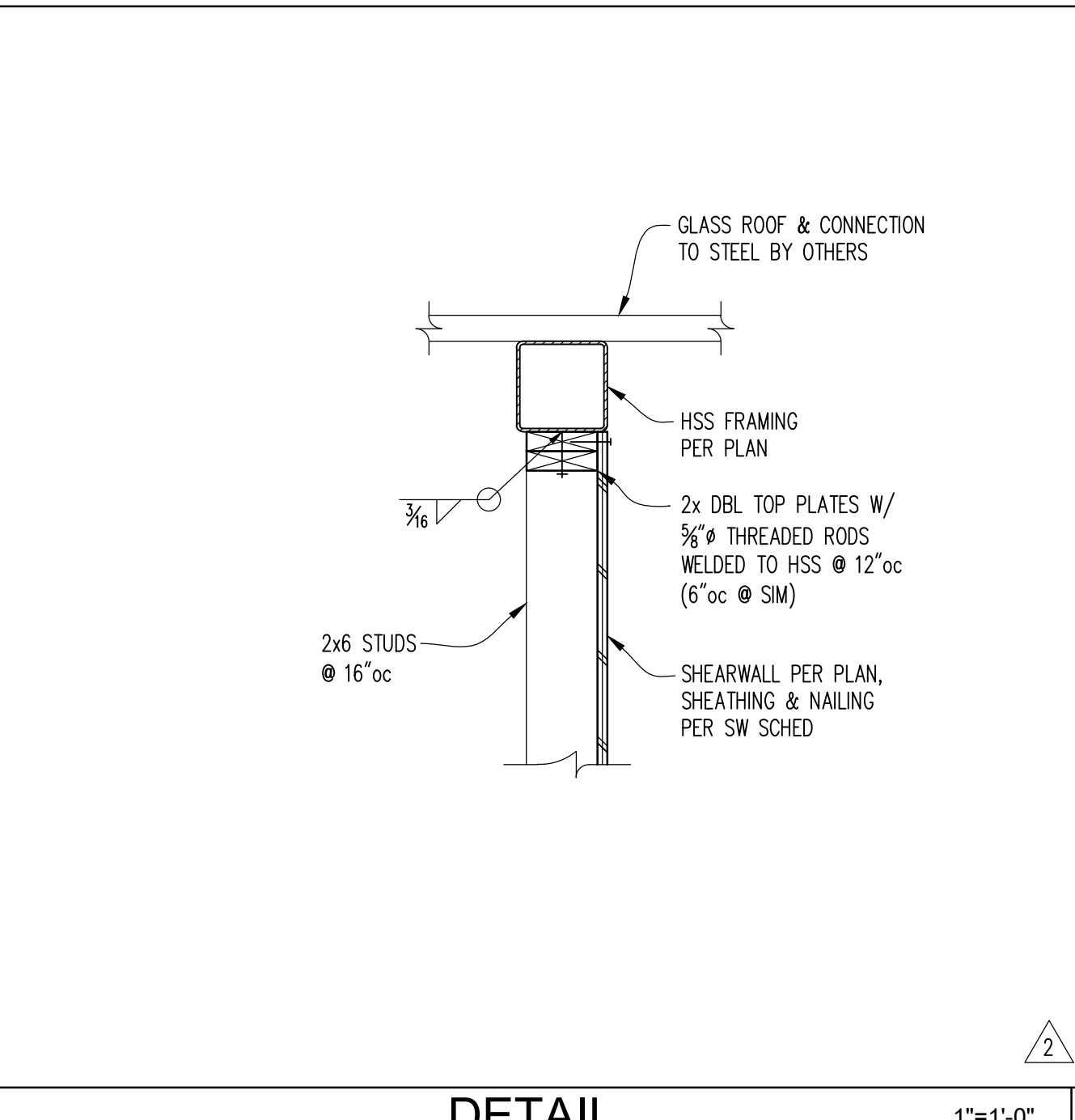
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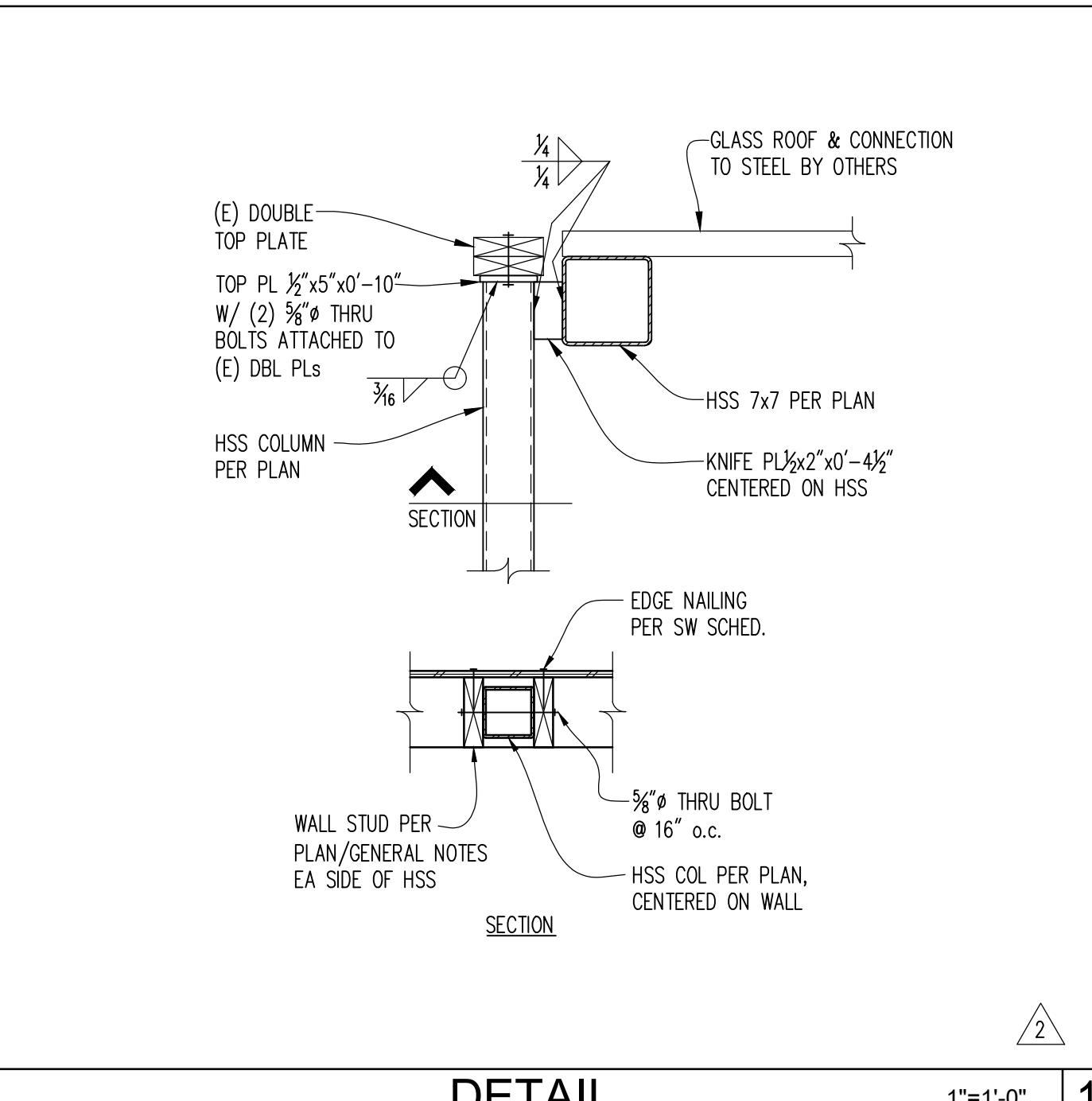
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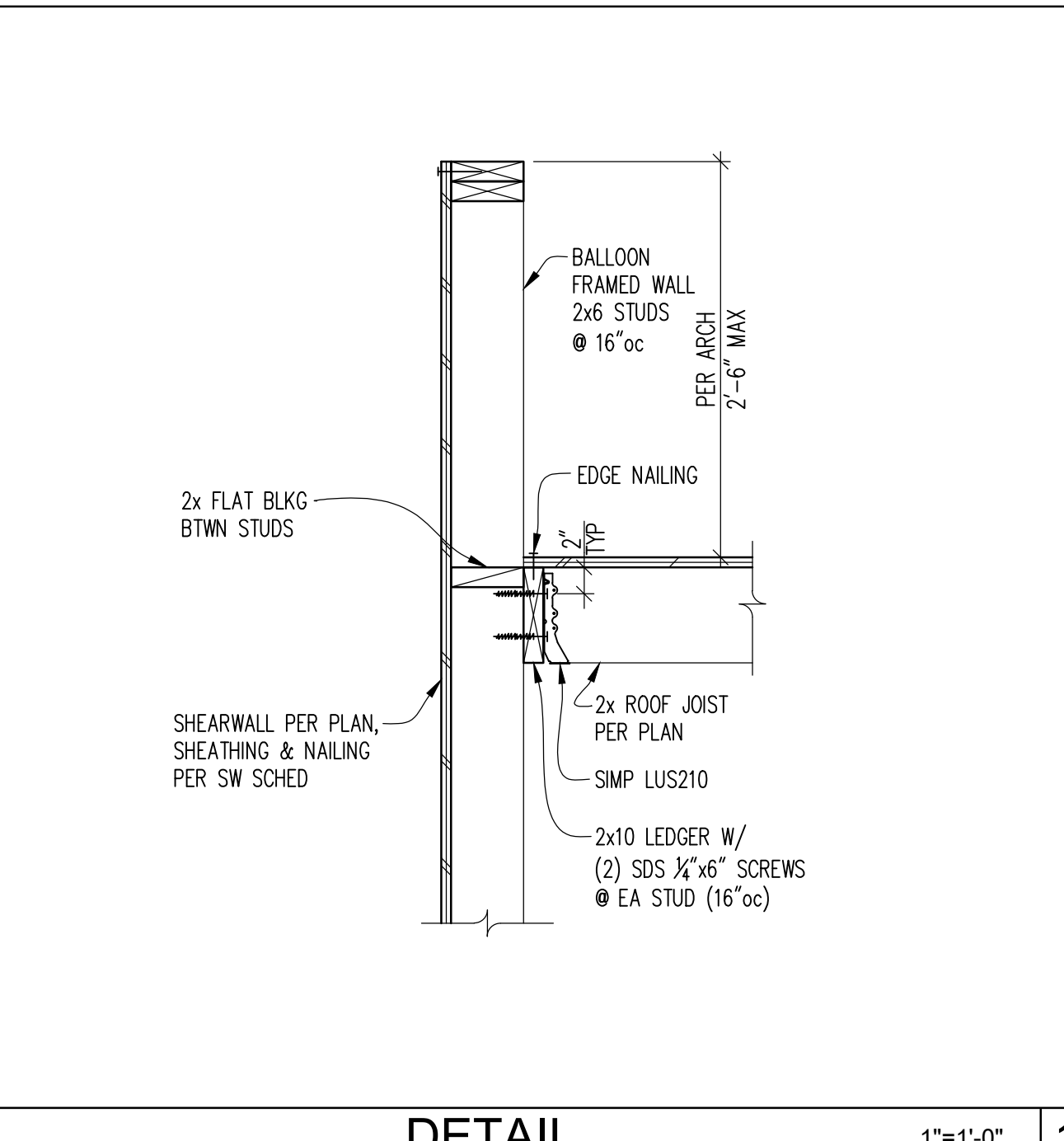
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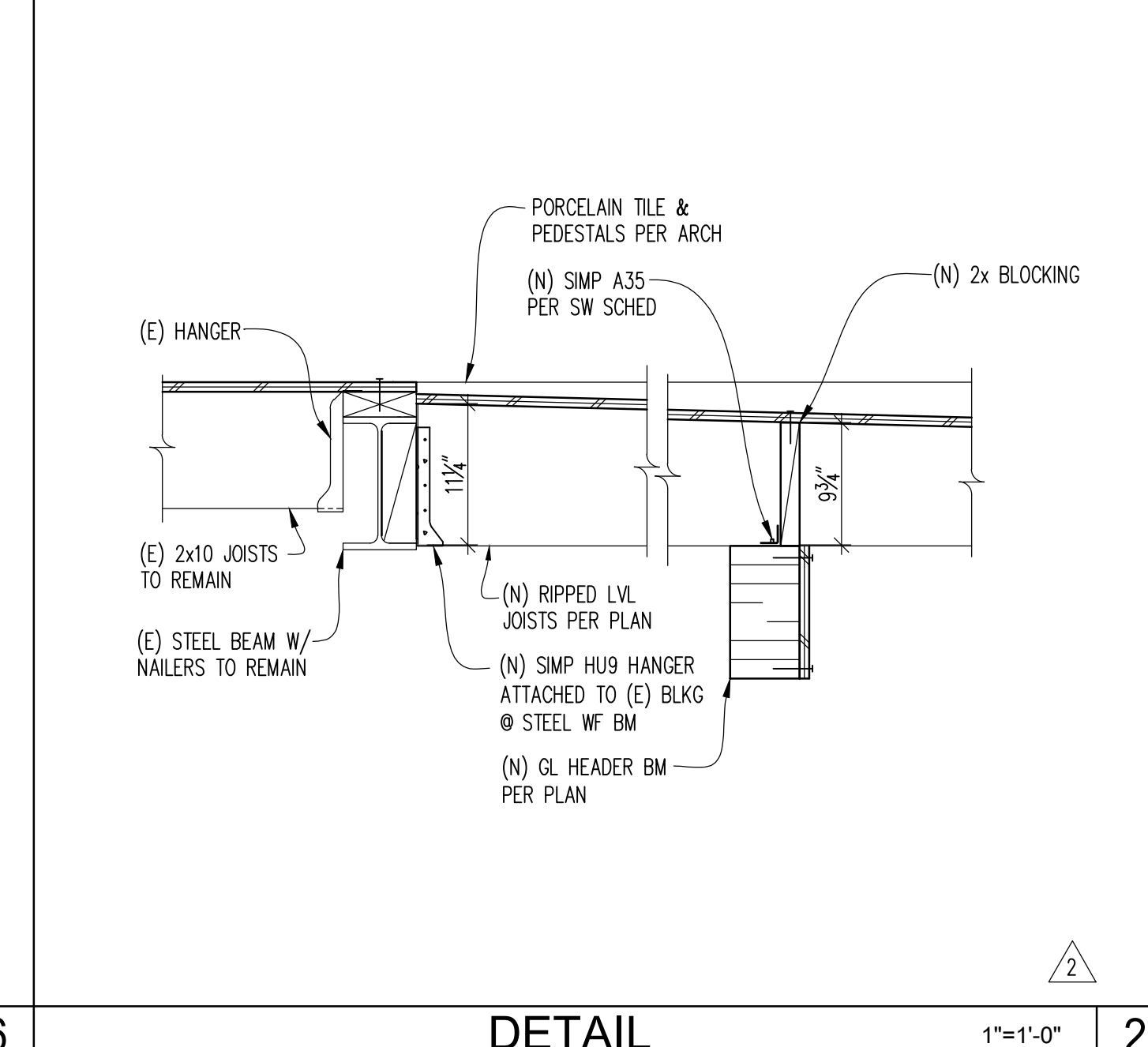
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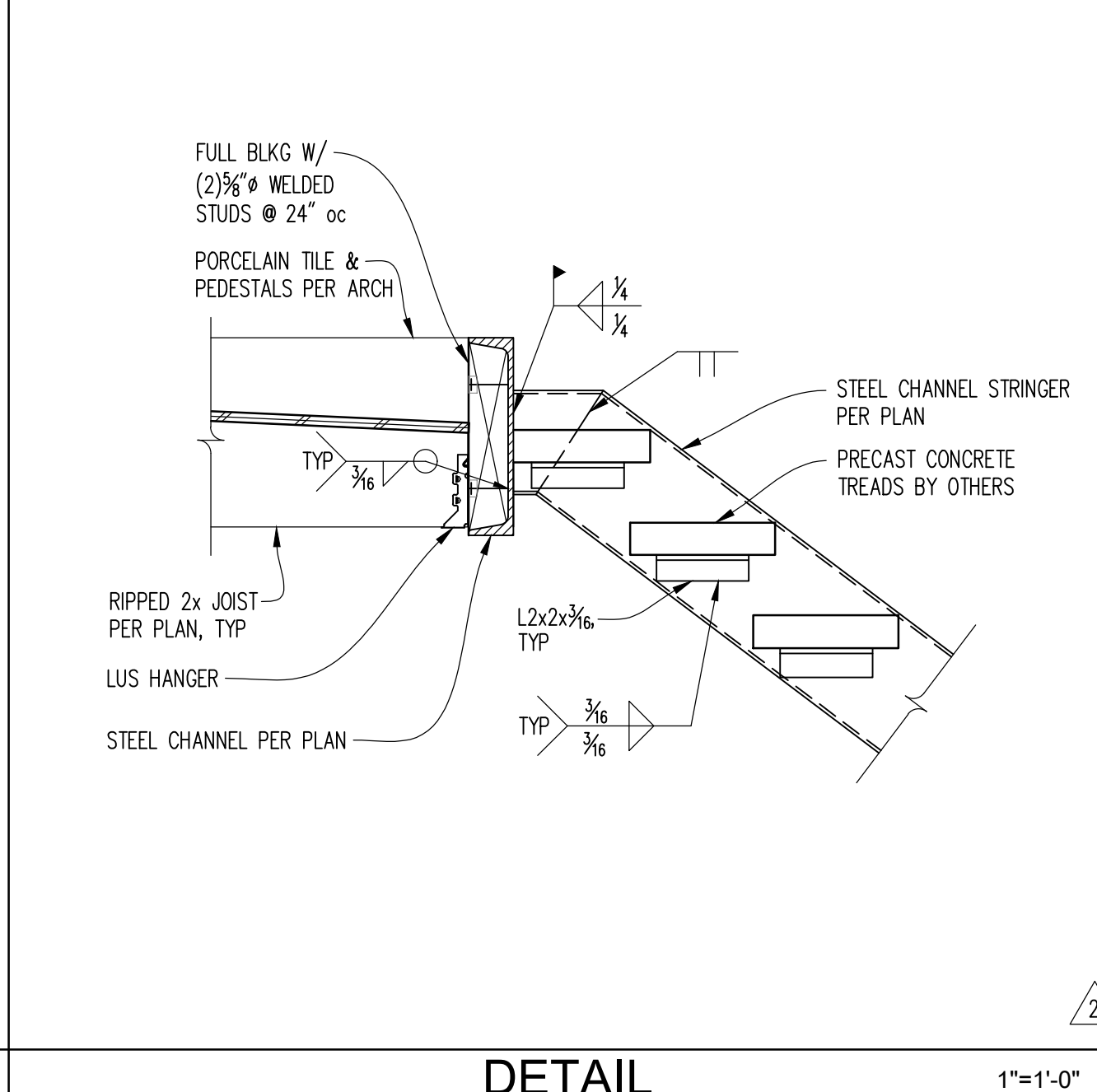
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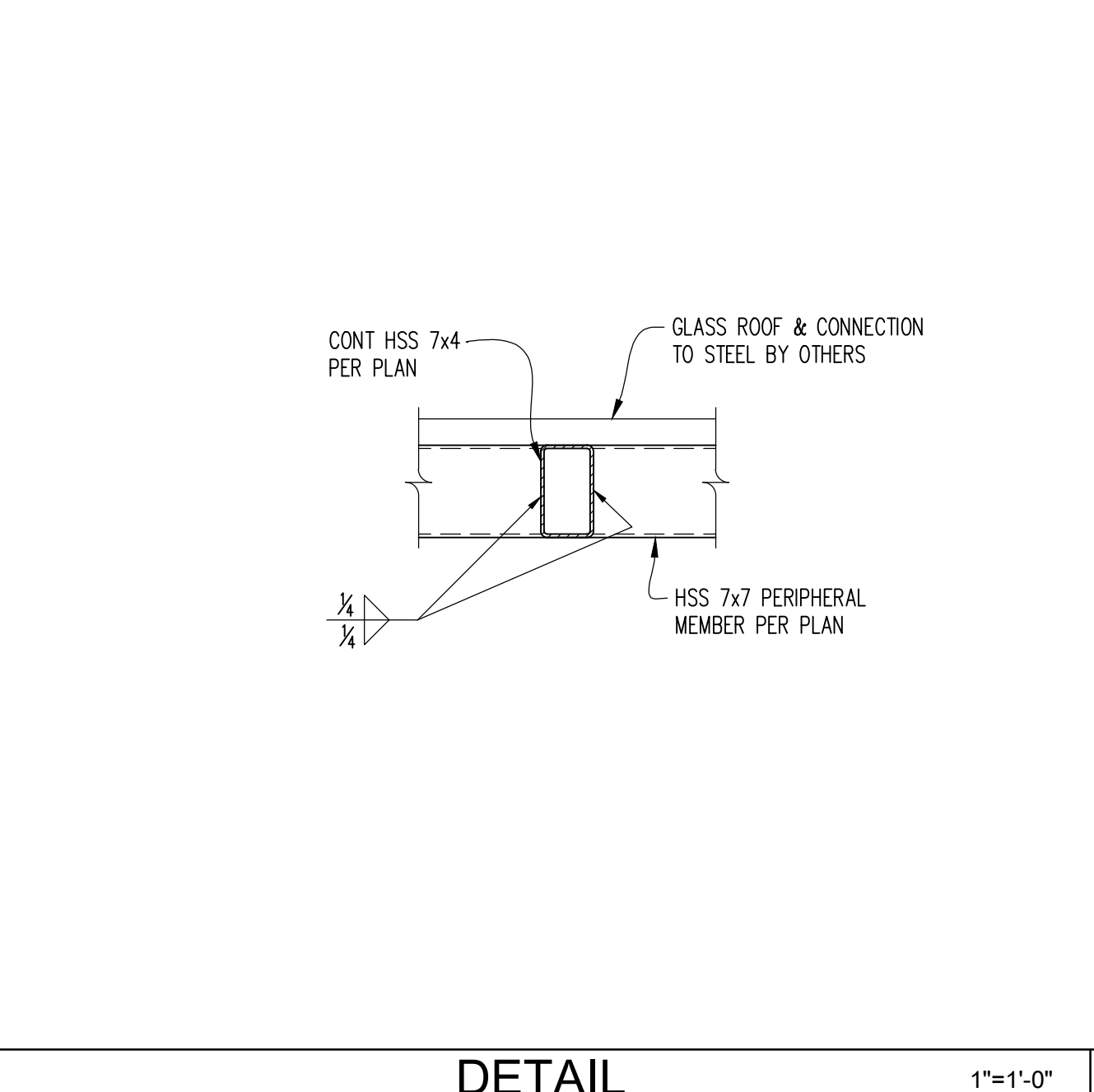
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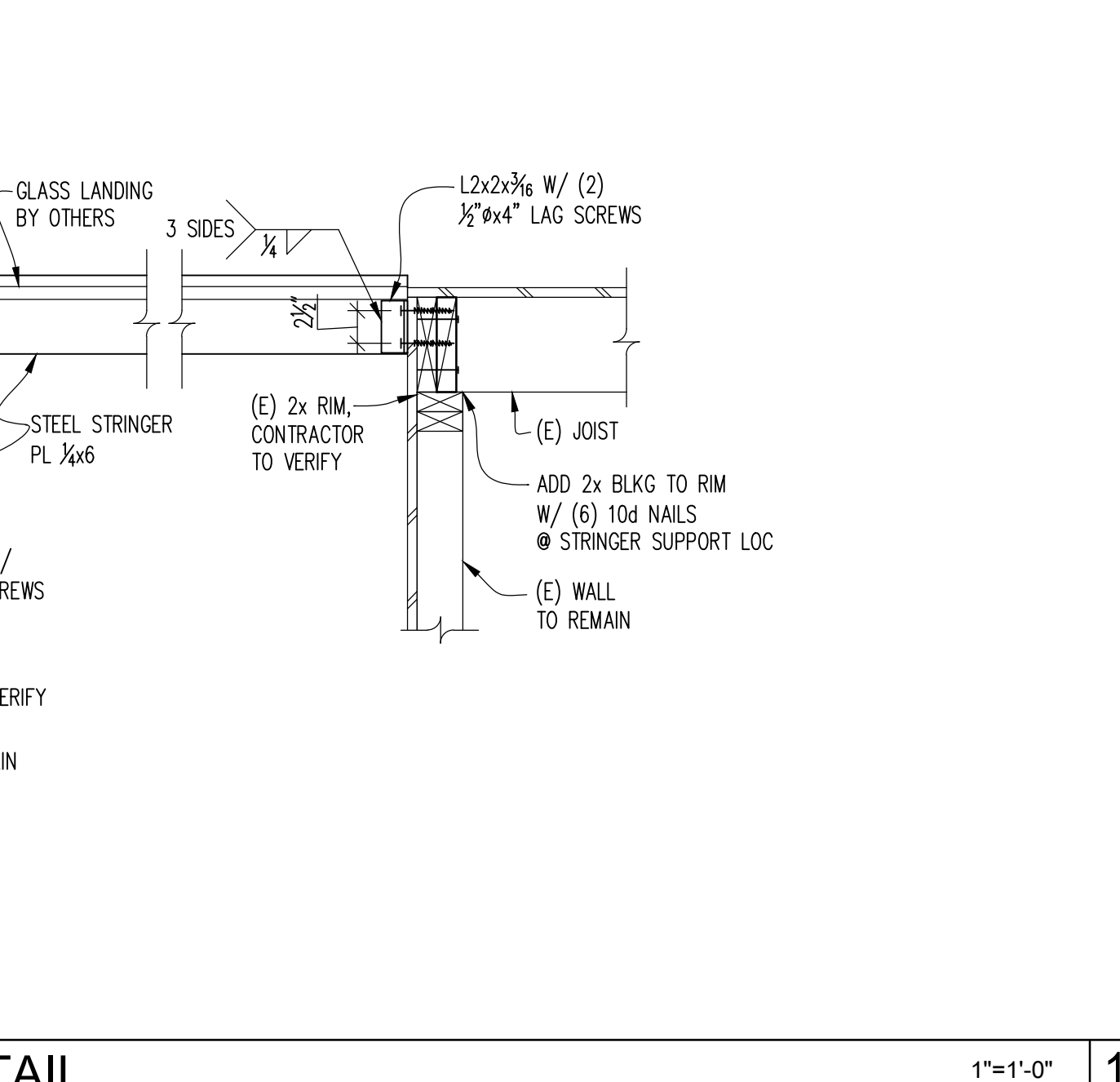
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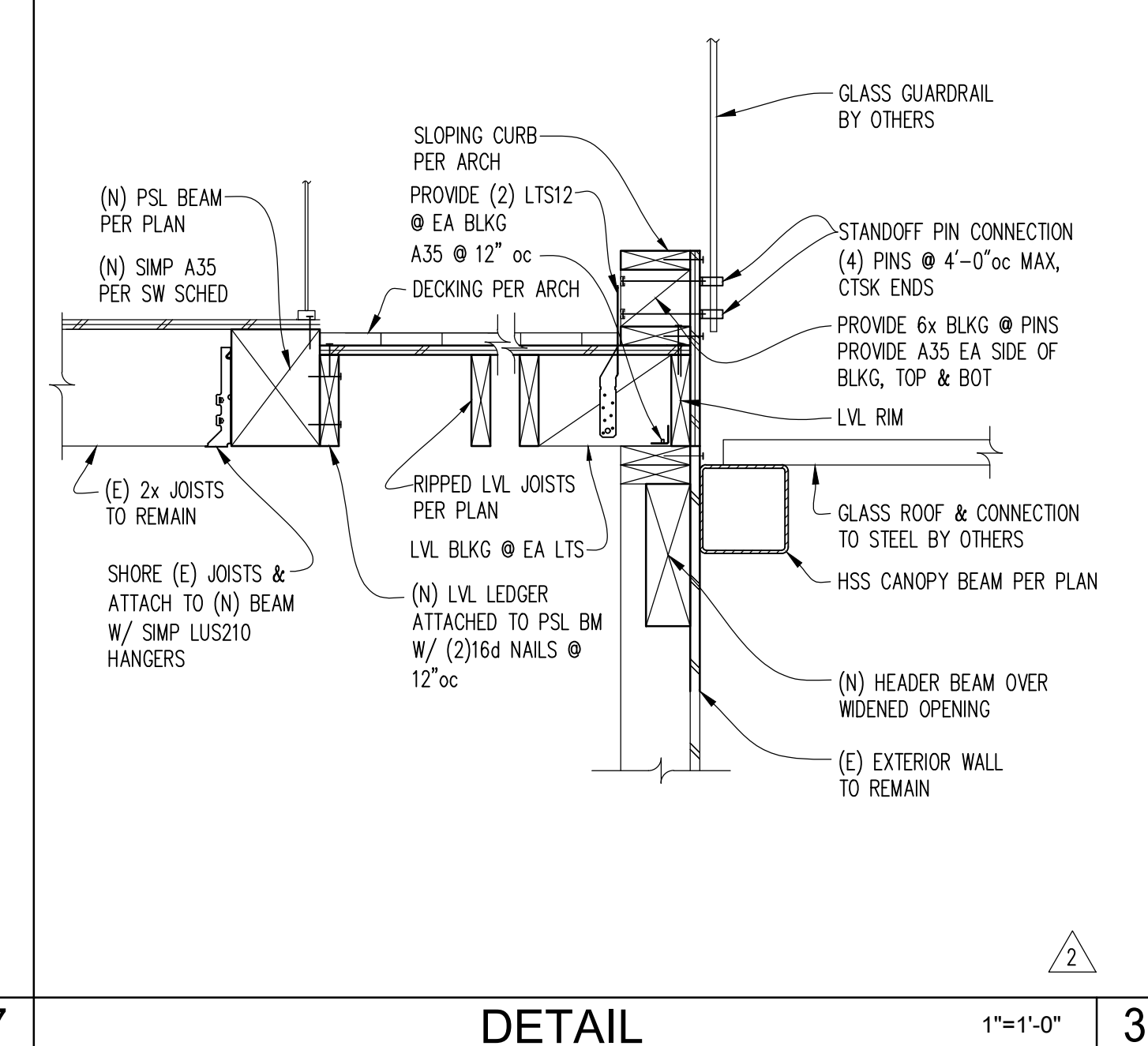
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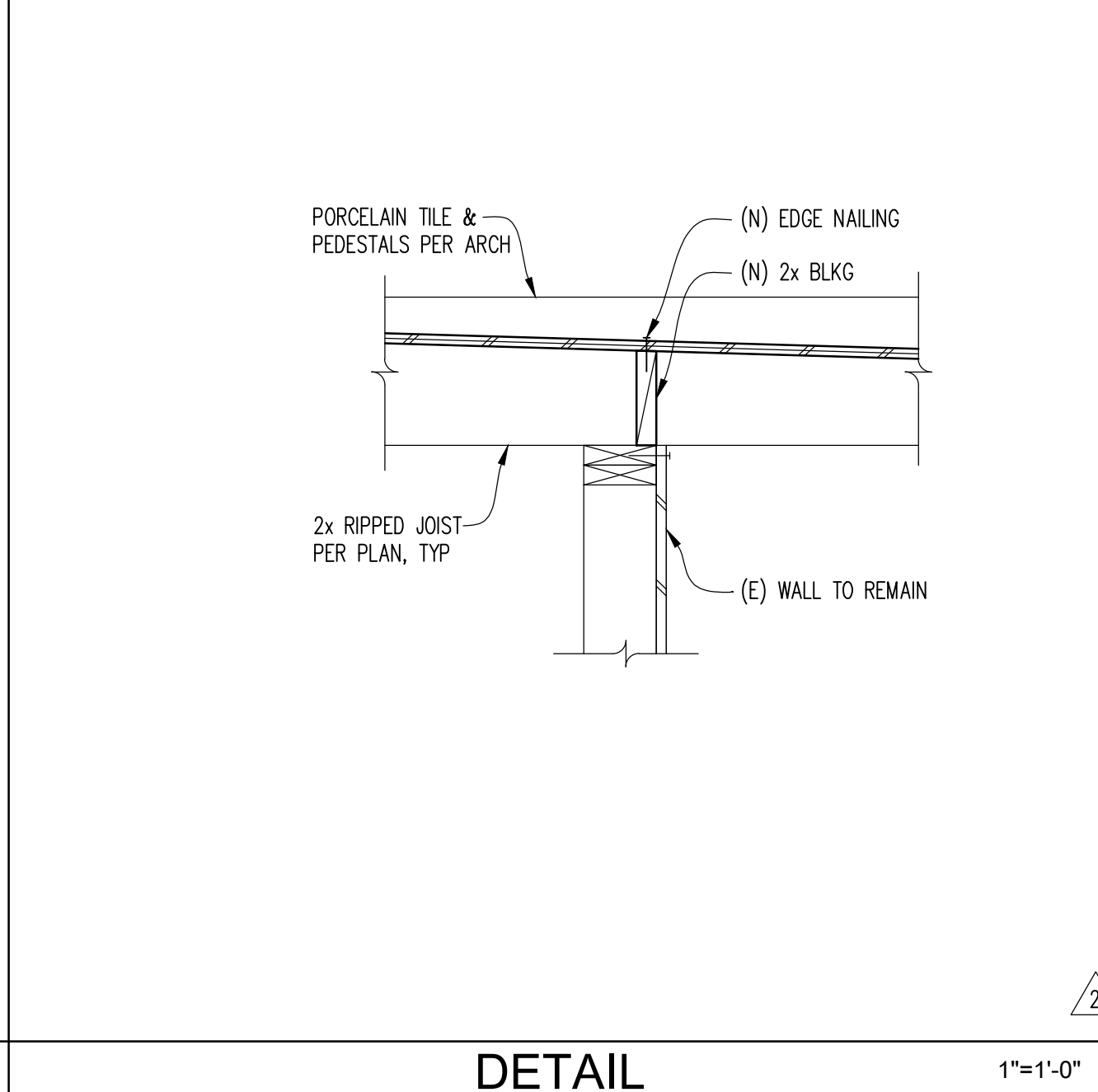
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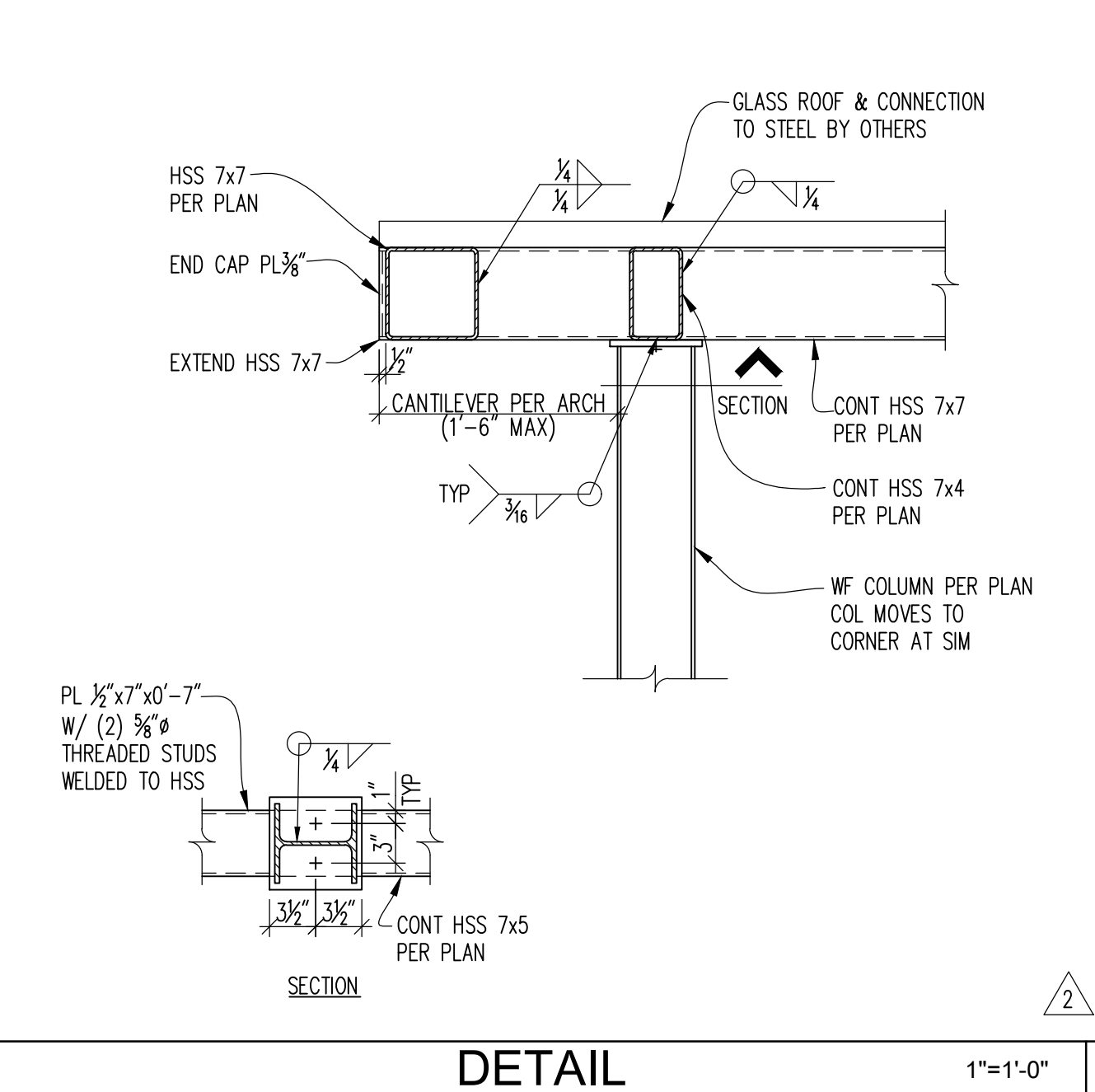
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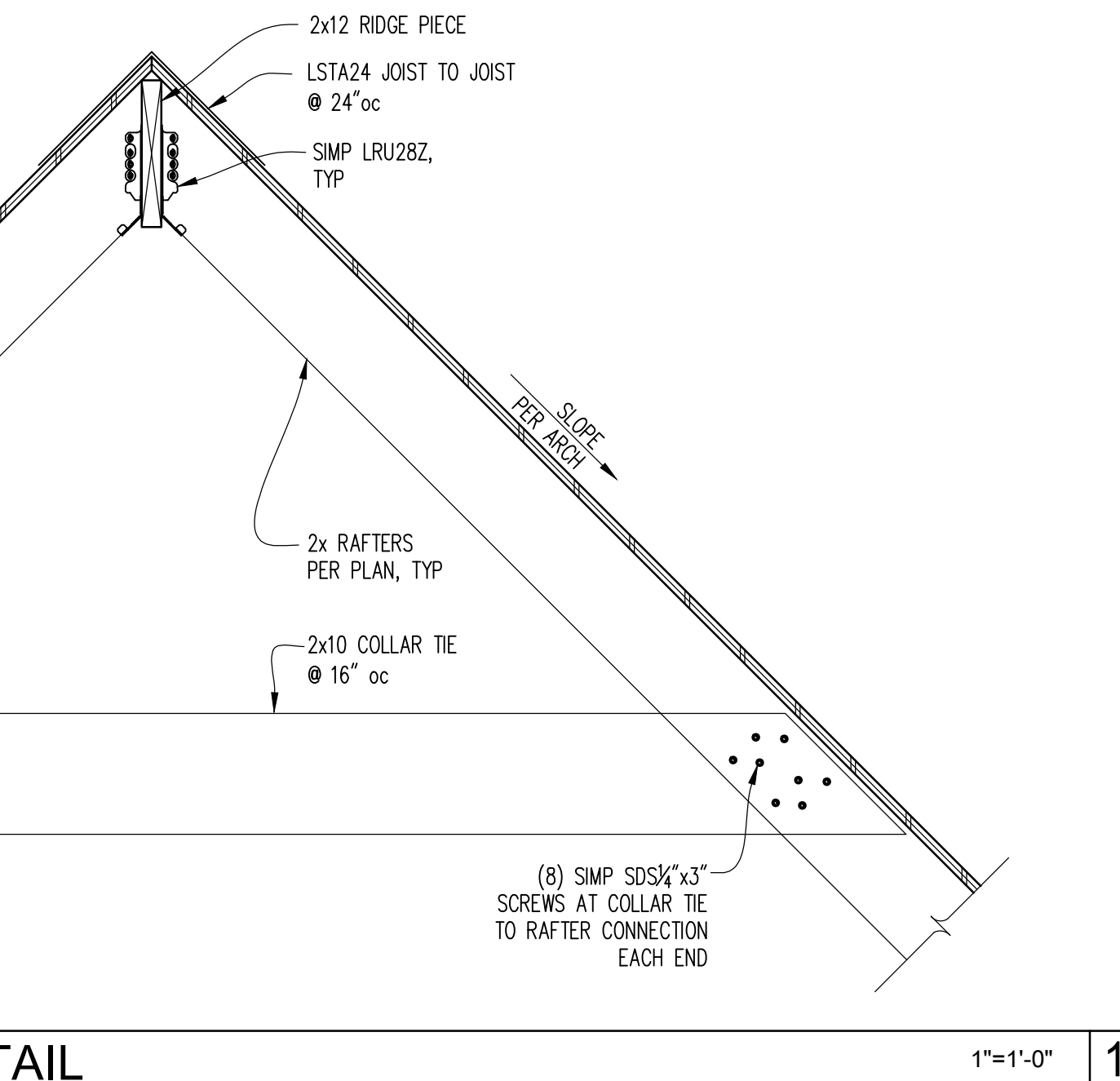
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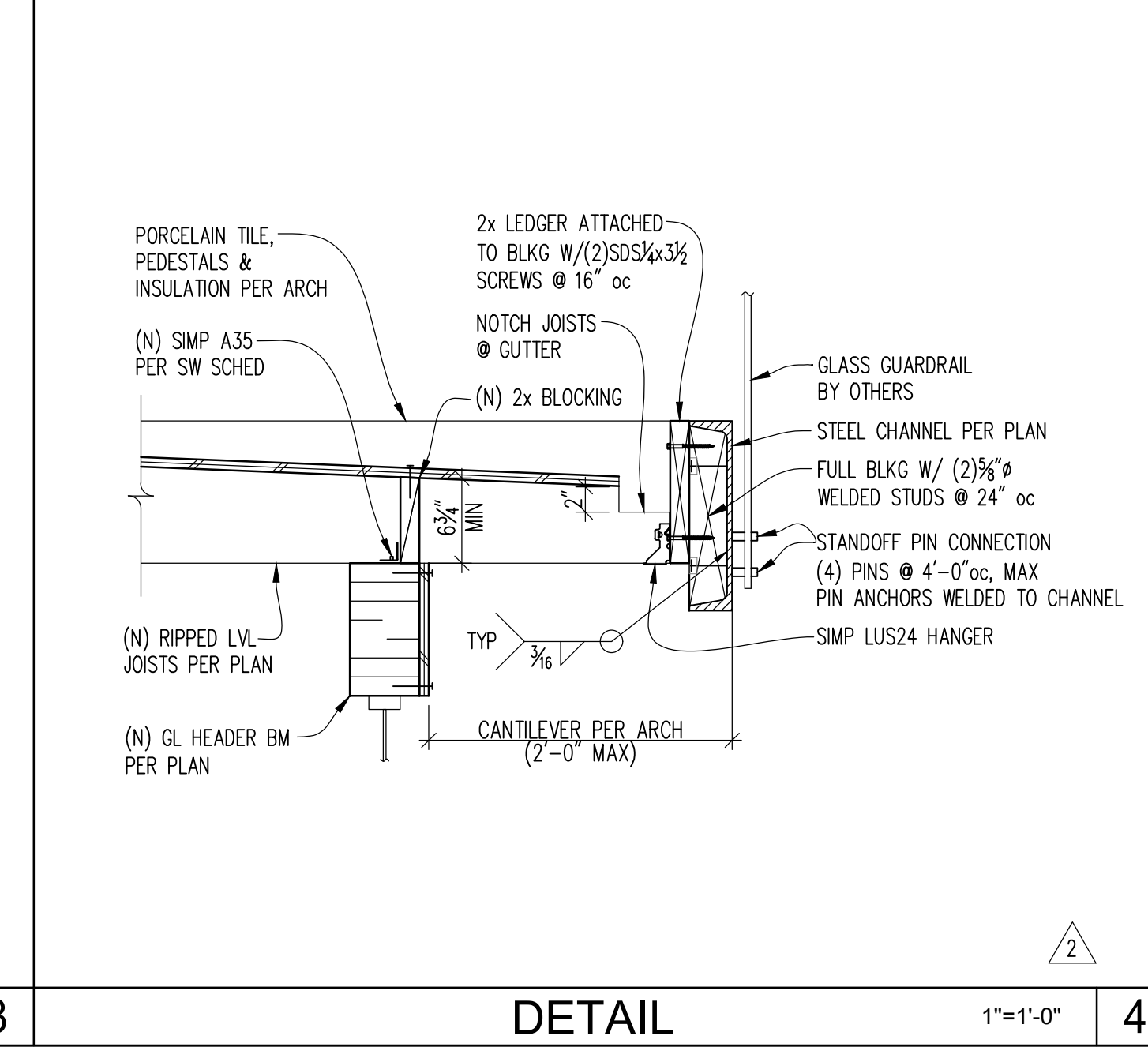
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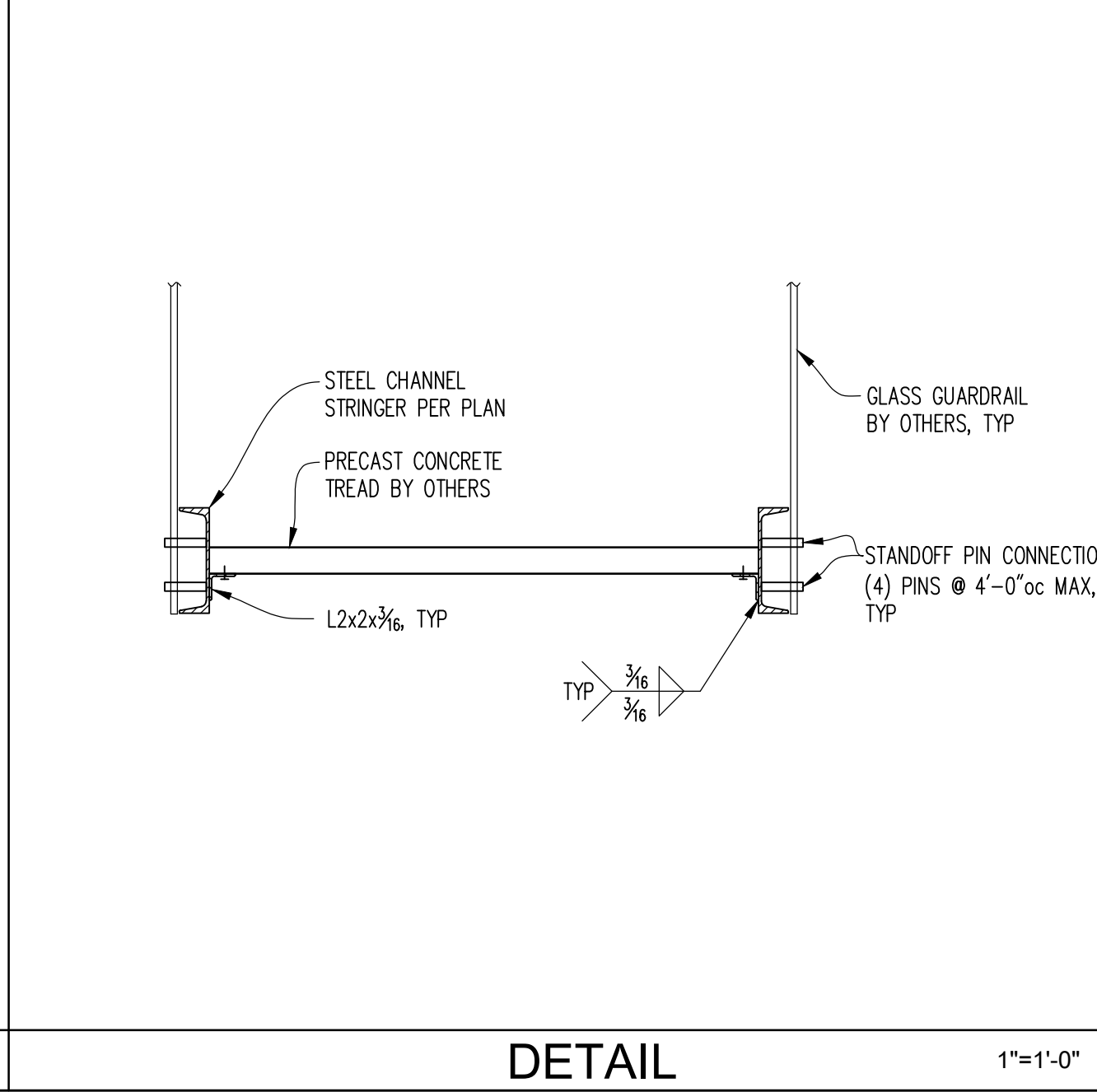
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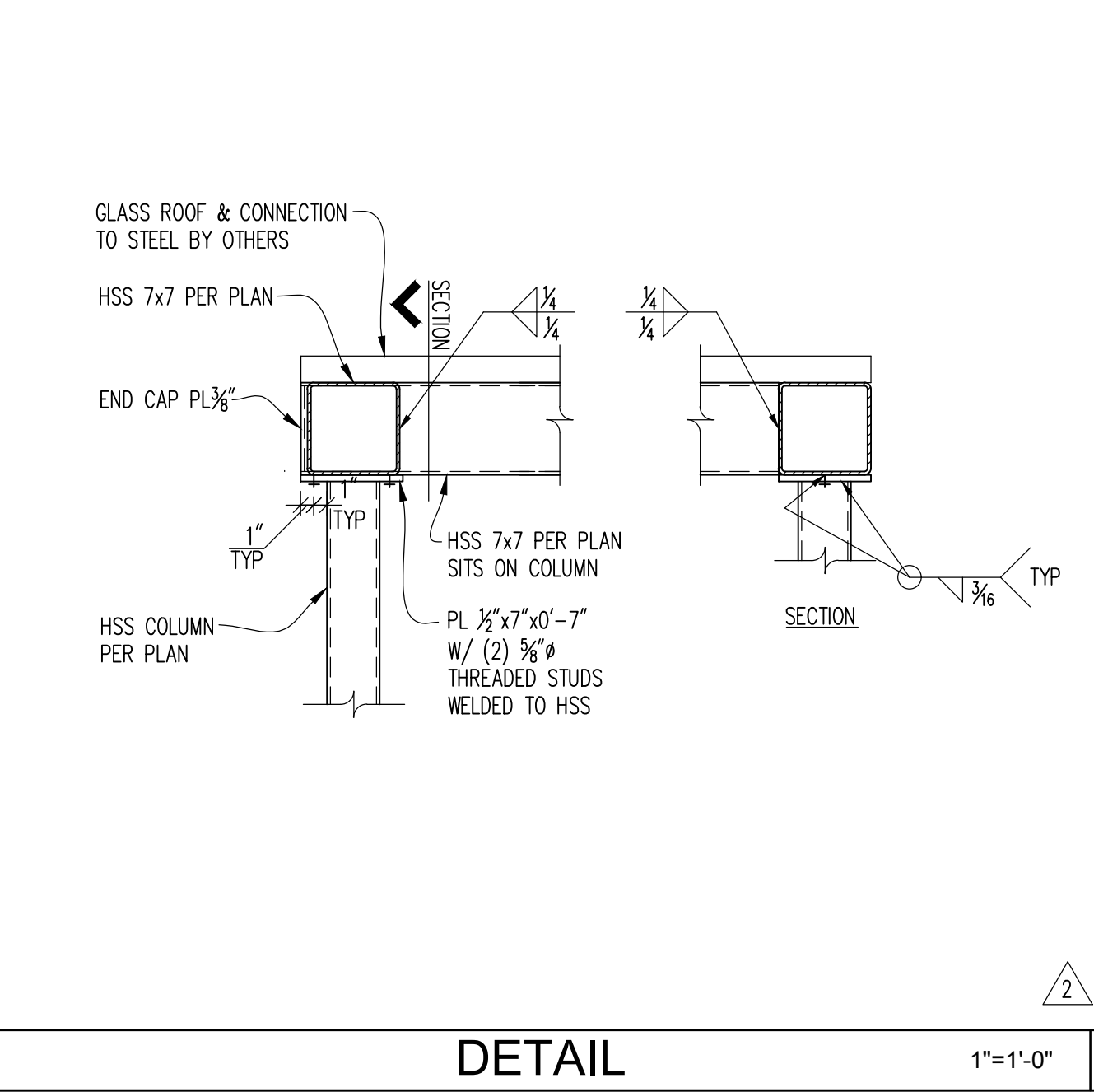
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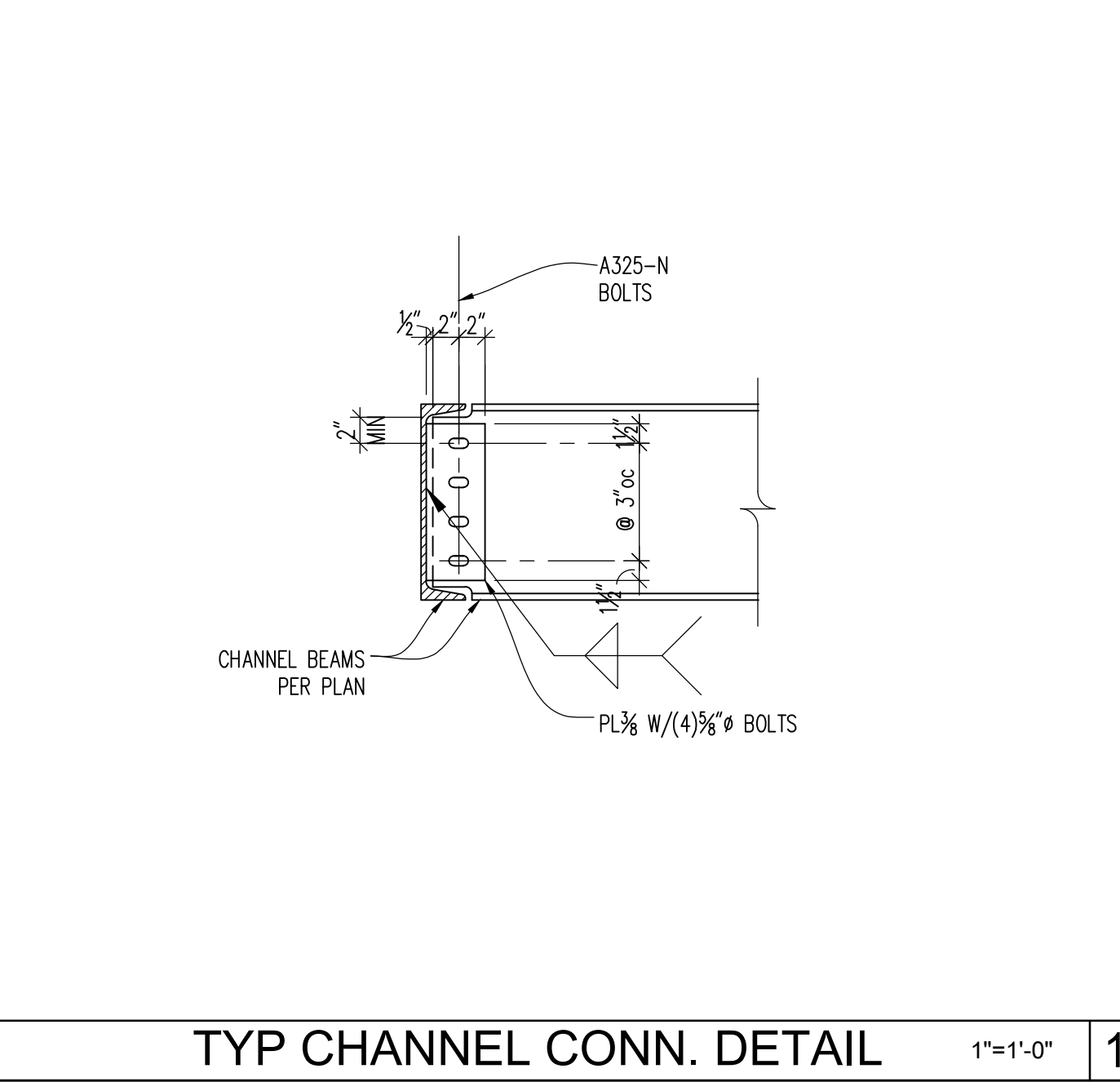
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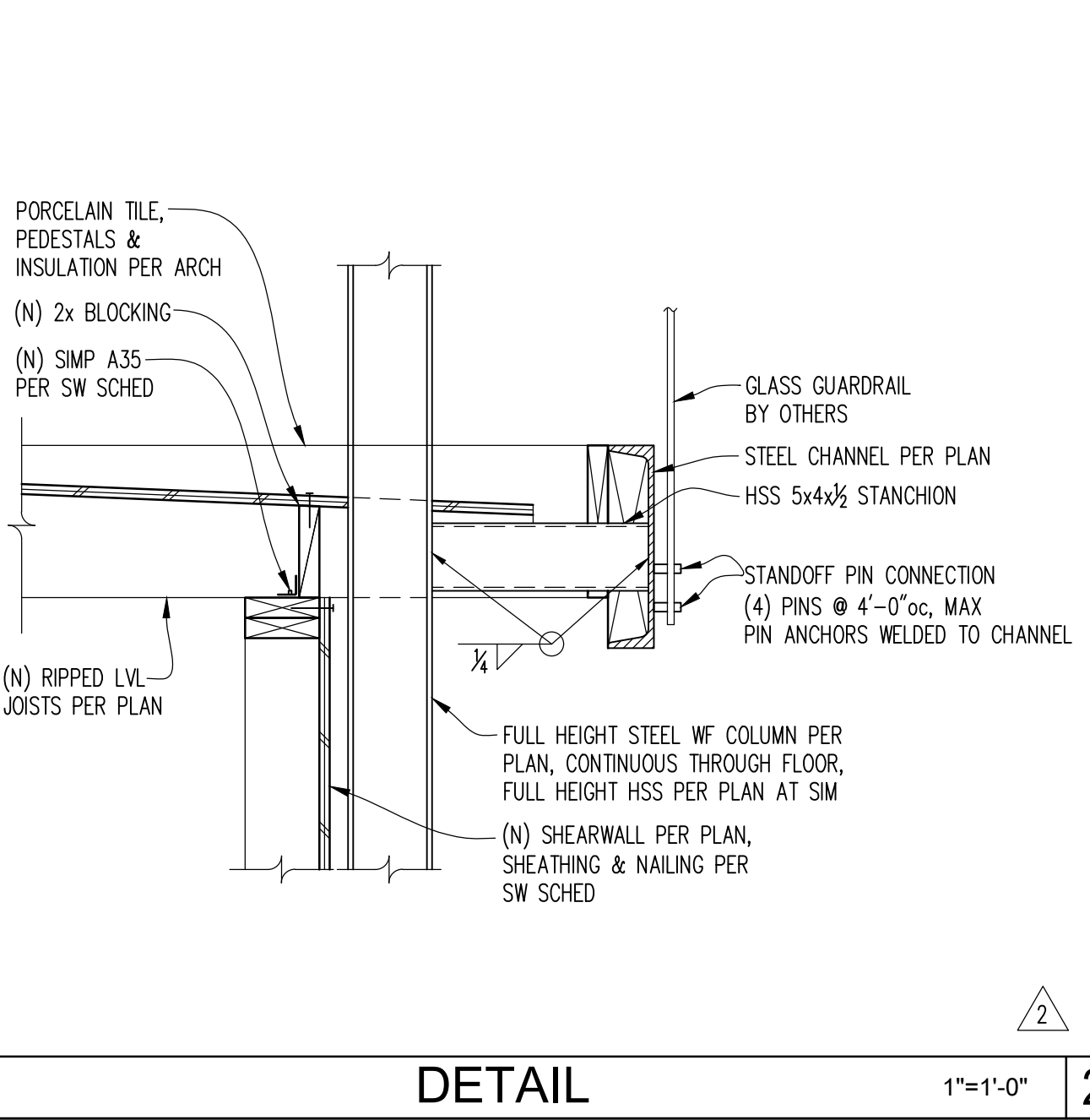
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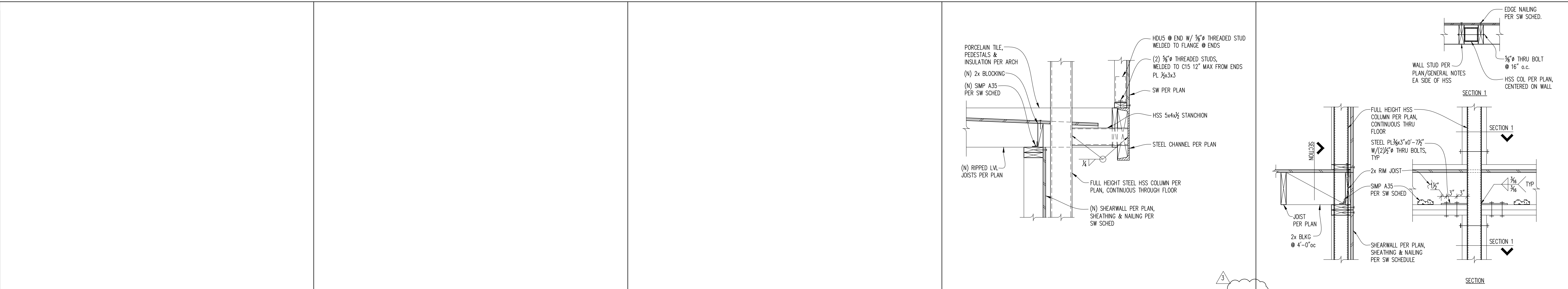
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TYP CHANNEL CONN. DETAIL 1"=1'-0" 16



DETAIL 1"=1'-0" 20



17

13

9

DETAIL

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5

DETAIL

1"=1'-0"

1



18

14

10

DETAIL

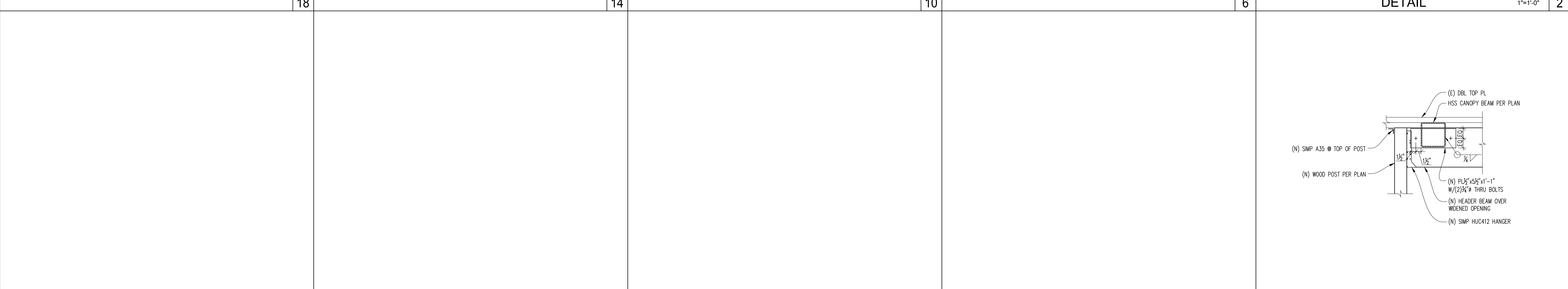
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DETAIL

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19

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11

DETAIL

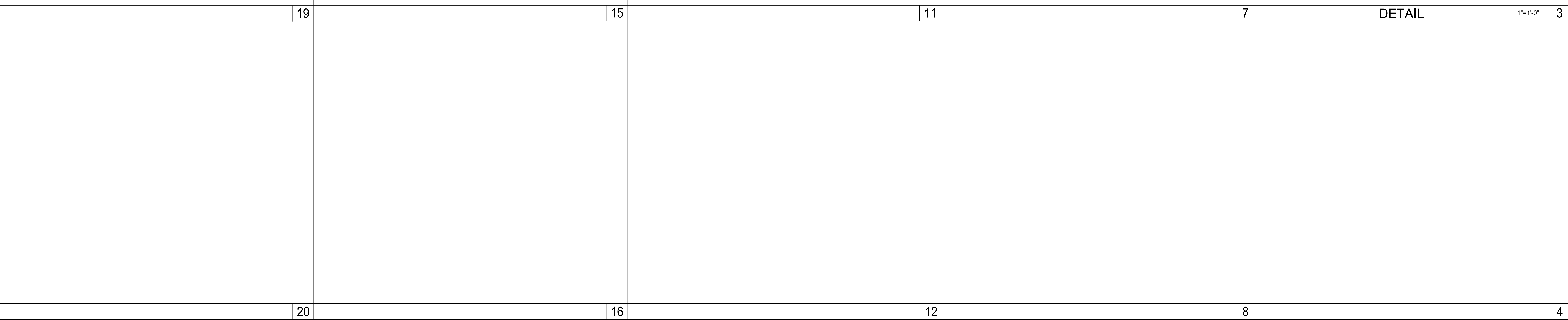
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DETAIL

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12

DETAIL

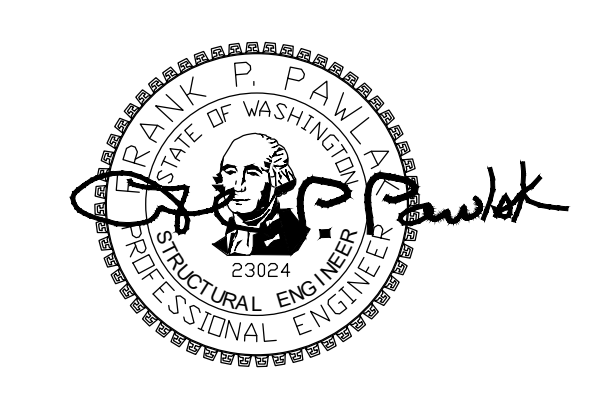
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DETAIL

1"=1'-0"

4



PROJECT

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DRAWN	SCALE

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SECTIONS

SHEET NO.

S4.3